



Tiburon General Plan Update

Downtown

Planning Commission Study Session // June 23, 2021



PROGRAM

1. General Plan Update
2. Concepts for Downtown
3. Community Engagement + Feedback
4. Policy Framework
5. Planning Commission Discussion



1. GENERAL PLAN UPDATE

GENERAL PLAN UPDATE

- Overarching document that guides the future growth and development of the town
- Articulates a community's vision for the future
- Update to the 2005 Plan
- Will plan for next 20 years
- Contains goals, policies, and implementing programs
- Approvals of new development projects, public projects, and capital improvements require findings of consistency with the General Plan



GENERAL PLAN ELEMENTS

Required Elements:

- Land Use
- Mobility
- Housing
- Open Space
- Conservation
- Safety
- Noise

Additional Elements:

- Downtown
- Parks and Recreation



2. UNDERSTANDING DOWNTOWN

HISTORICAL DEVELOPMENT



Tiburon School from the Lagoon, 1901



Main Street, 1910



Main Street, 1947-48



Main Street, 1960s



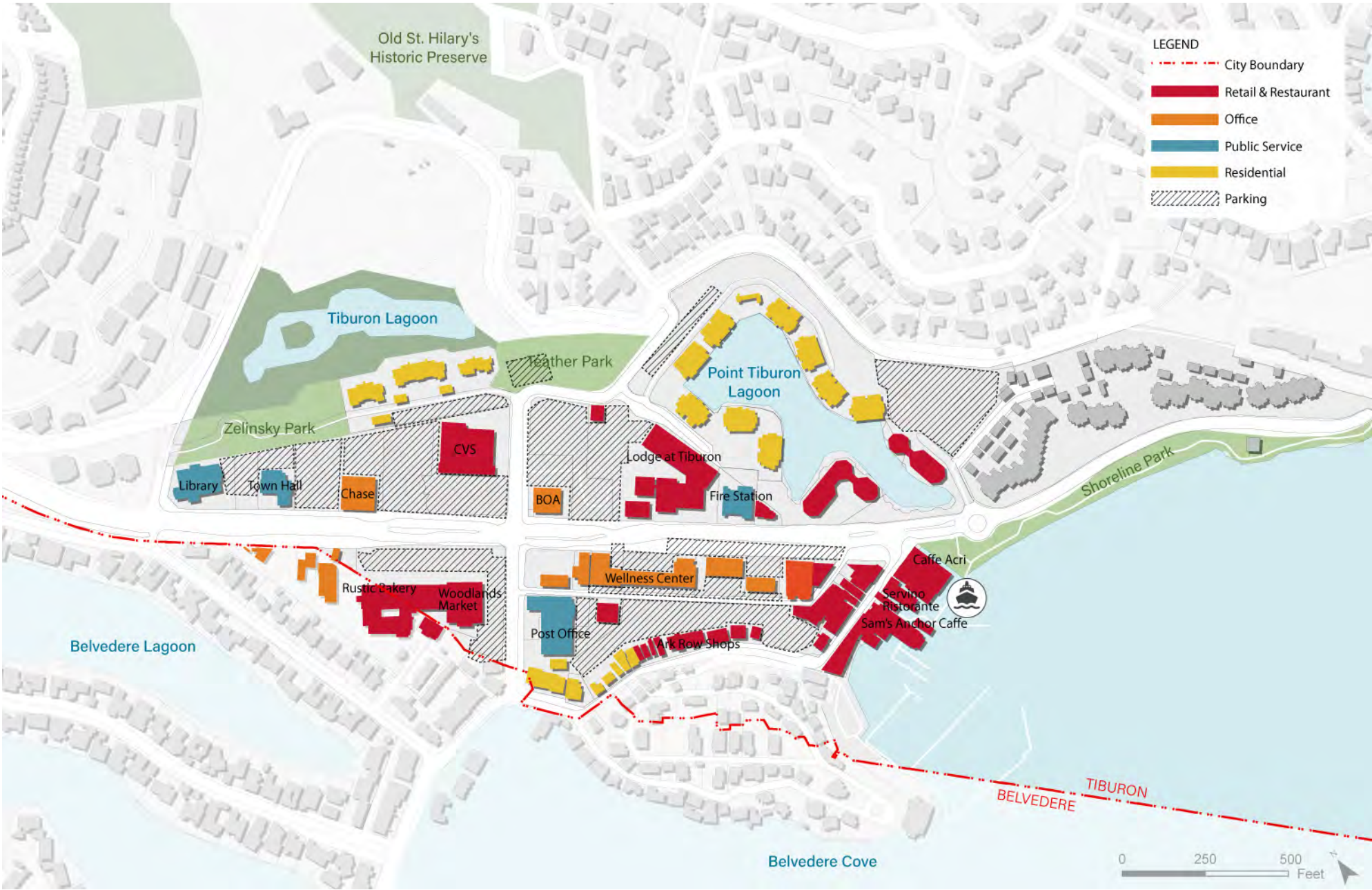
CHARACTER AREAS



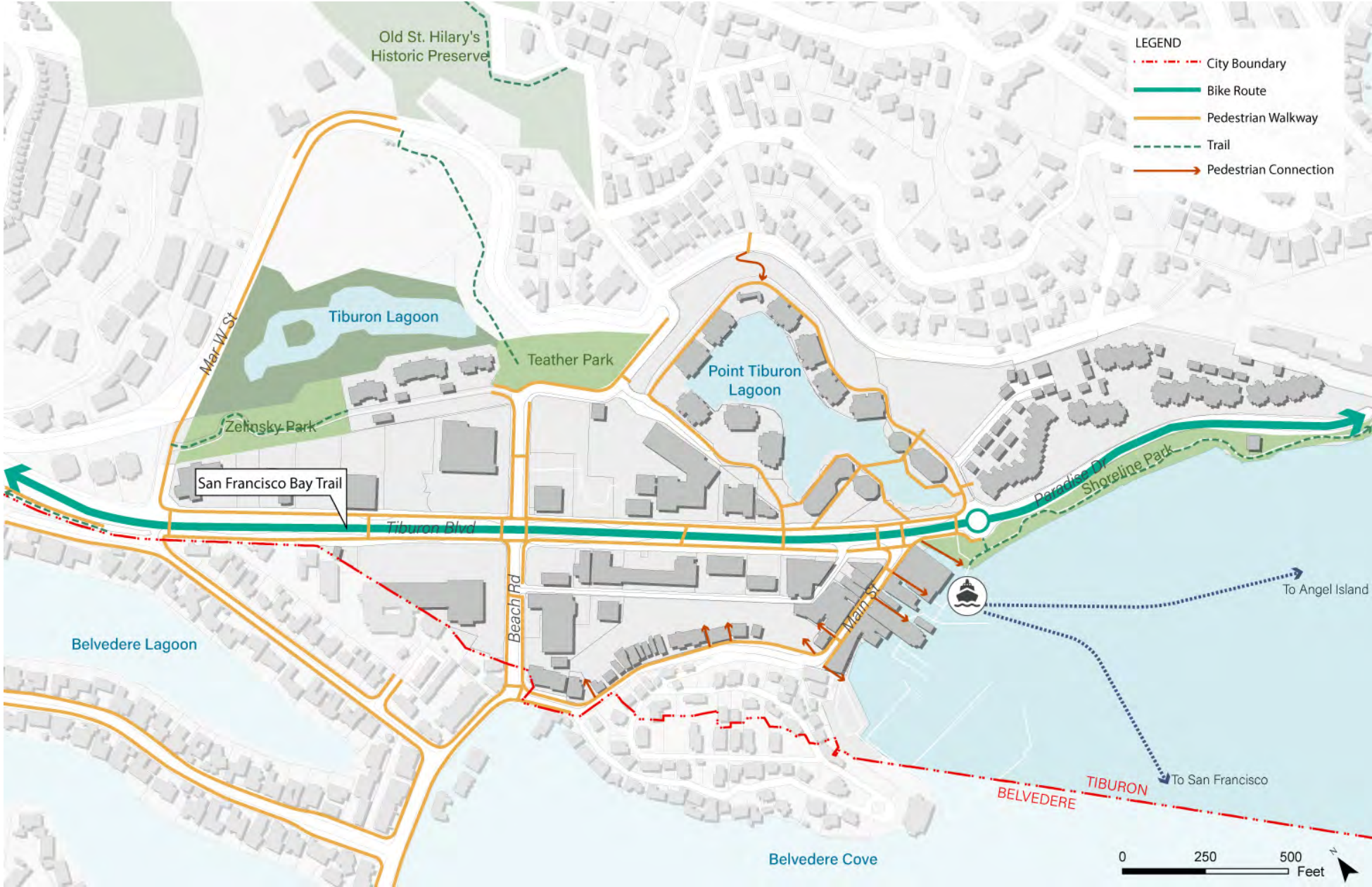
CHARACTER AREAS



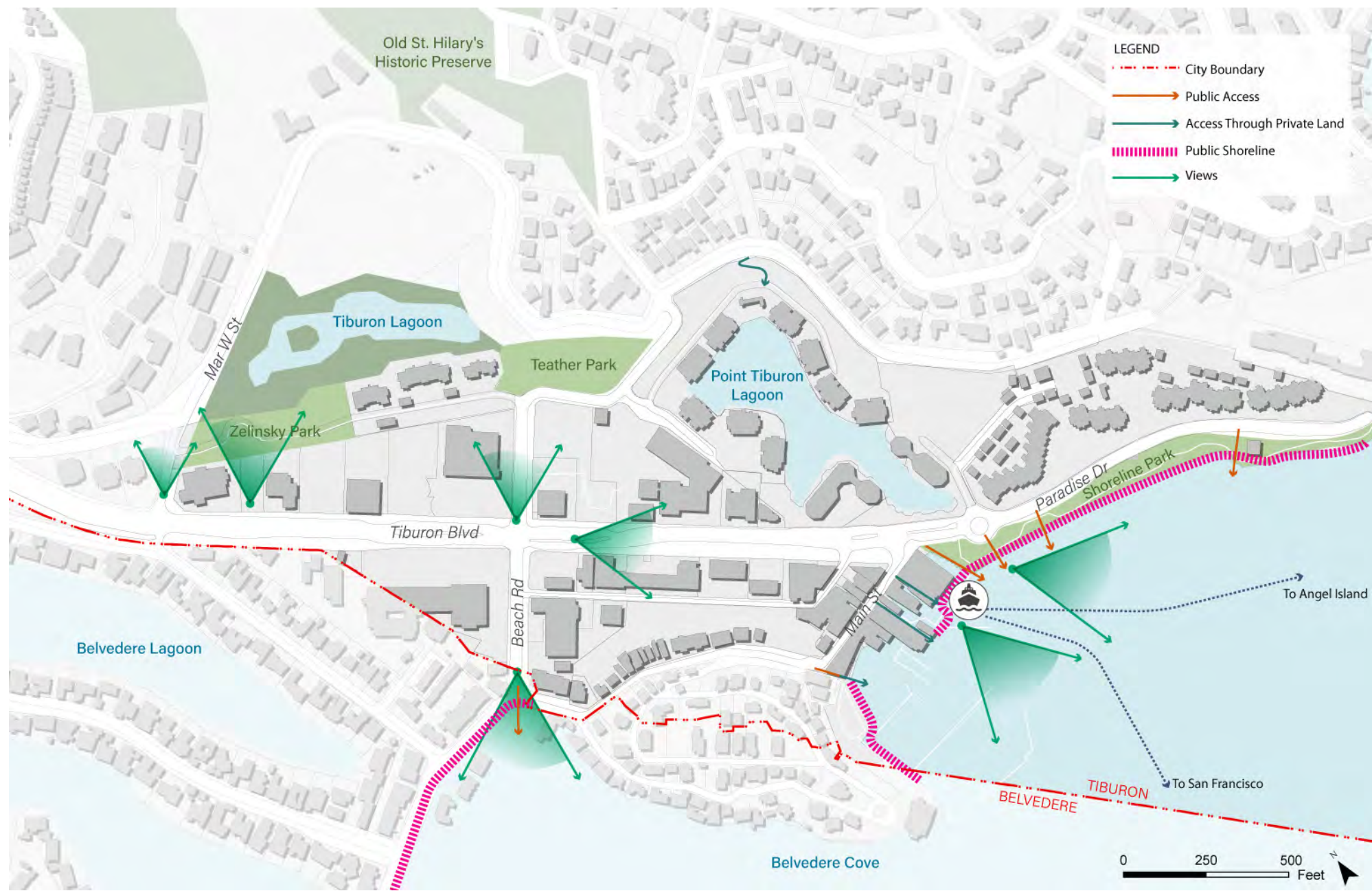
EXISTING USES



WALKING AND BIKING



SHORELINE ACCESS AND VIEWS



VULNERABLE ASSETS



BayWAVE Scenario 6 (60 inches)
SLR + 100 year Flood

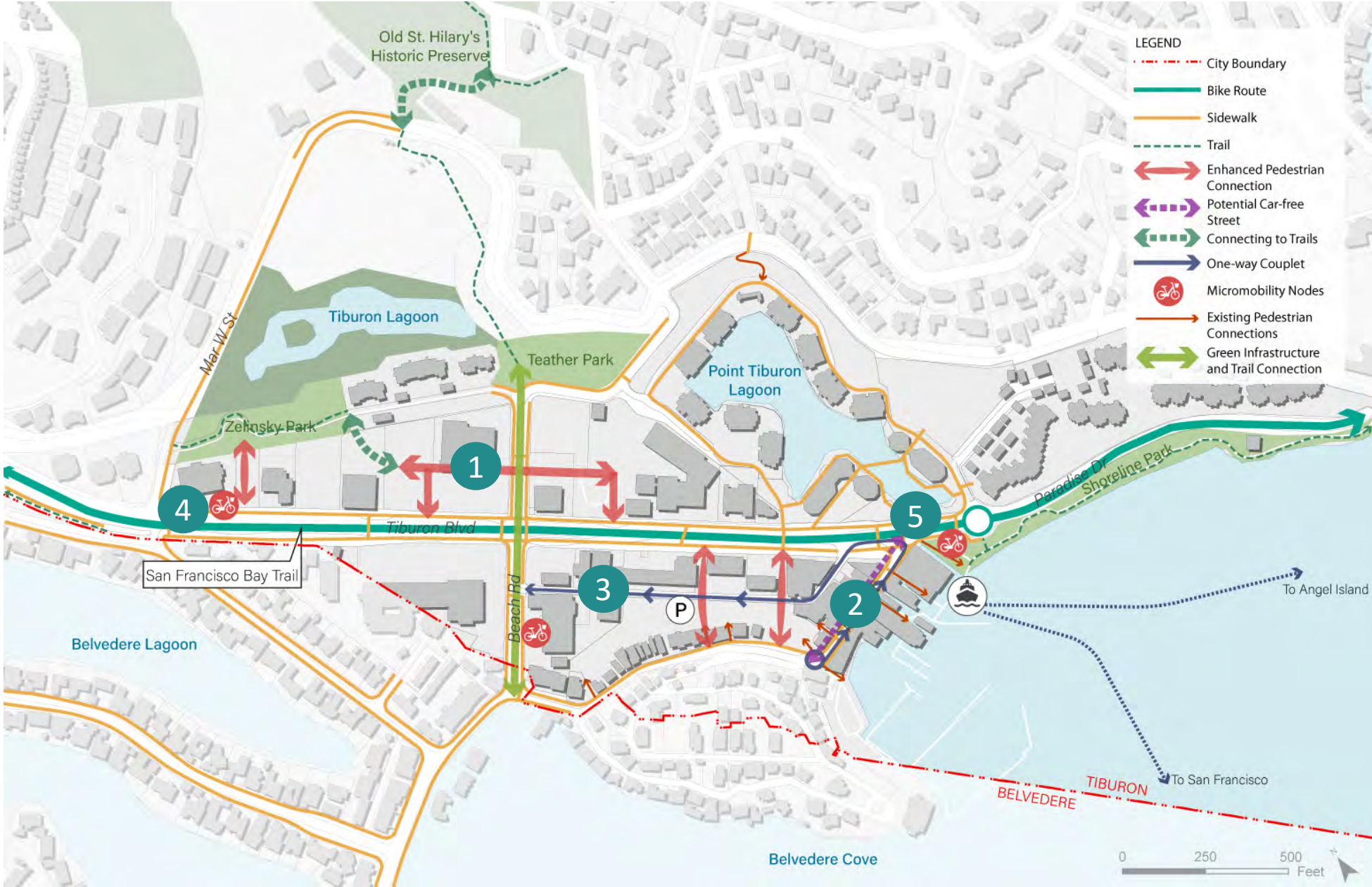
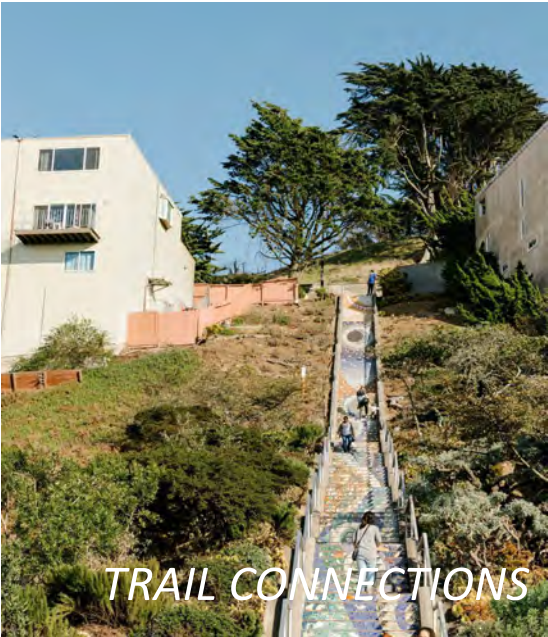
3. CONCEPTS FOR DOWNTOWN

CIRCULATION OPPORTUNITIES

- 1. Pedestrian connections
- 2. Pedestrian Main Street (pilot project)
- 3. One-way couplet (pilot project)
- 4. Micromobility
- 5. Wayfinding signage



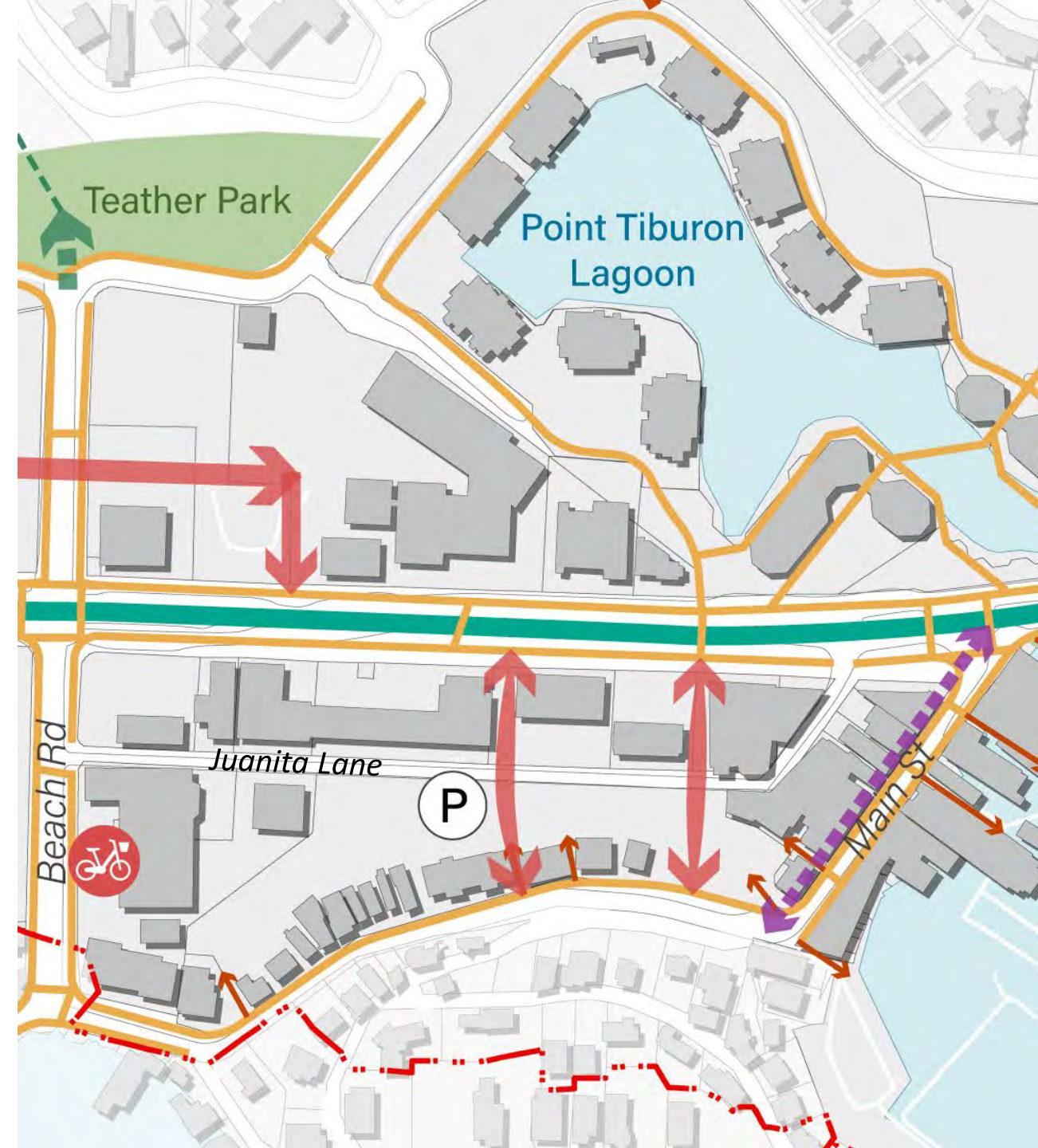
CIRCULATION OPPORTUNITIES 1 // Pedestrian Connections



CIRCULATION OPPORTUNITIES 2 //

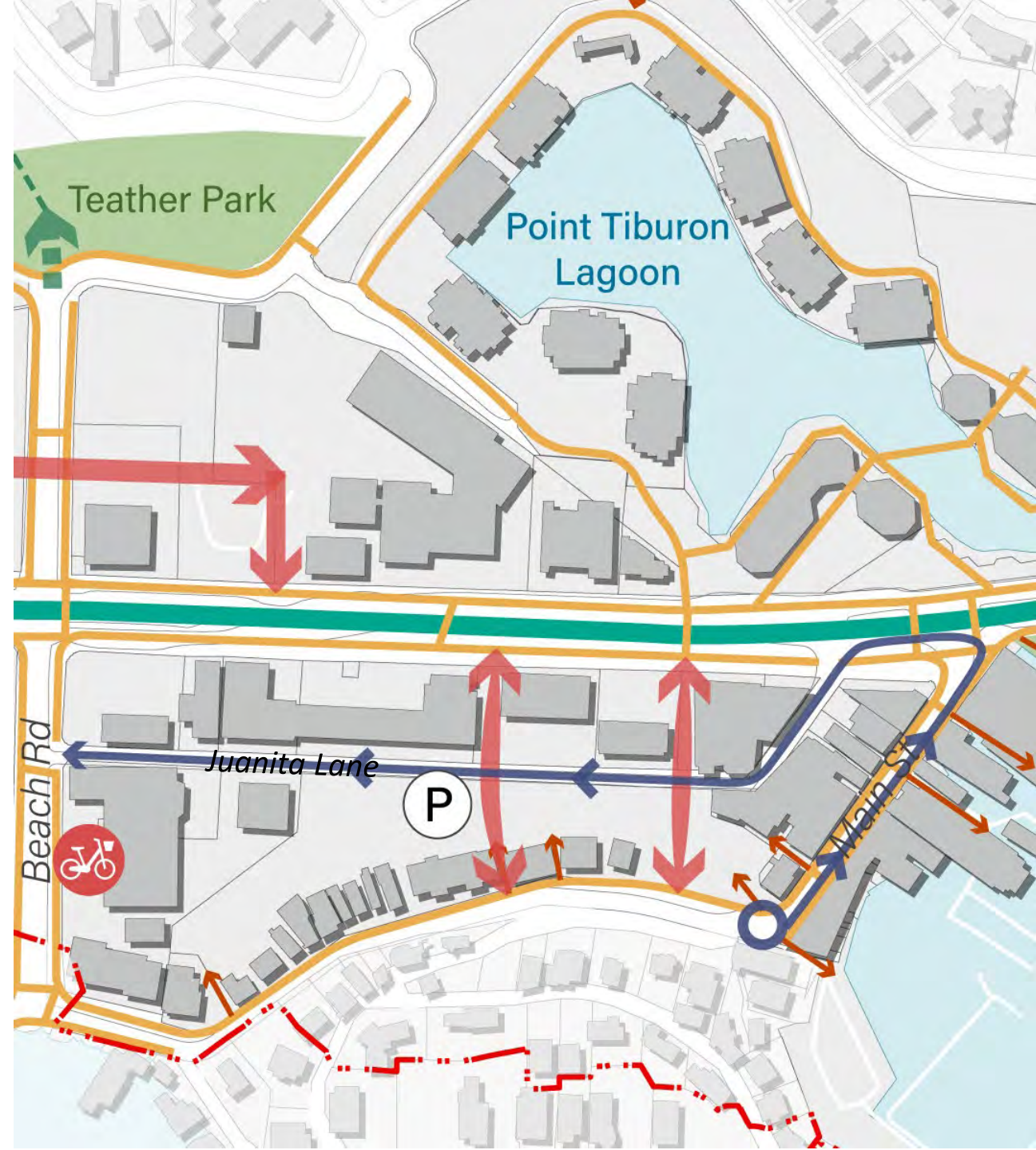
Pedestrian Main Street

Converting Main Street to a pedestrian street, starting with a pilot project



CIRCULATION OPPORTUNITIES 3 // One-way loop

One-way loop on Main Street and Juanita Lane



CIRCULATION OPPORTUNITIES 4 //

Micromobility

Bike docking stations



Bike racks & infrastructure



CIRCULATION OPPORTUNITIES 5 //

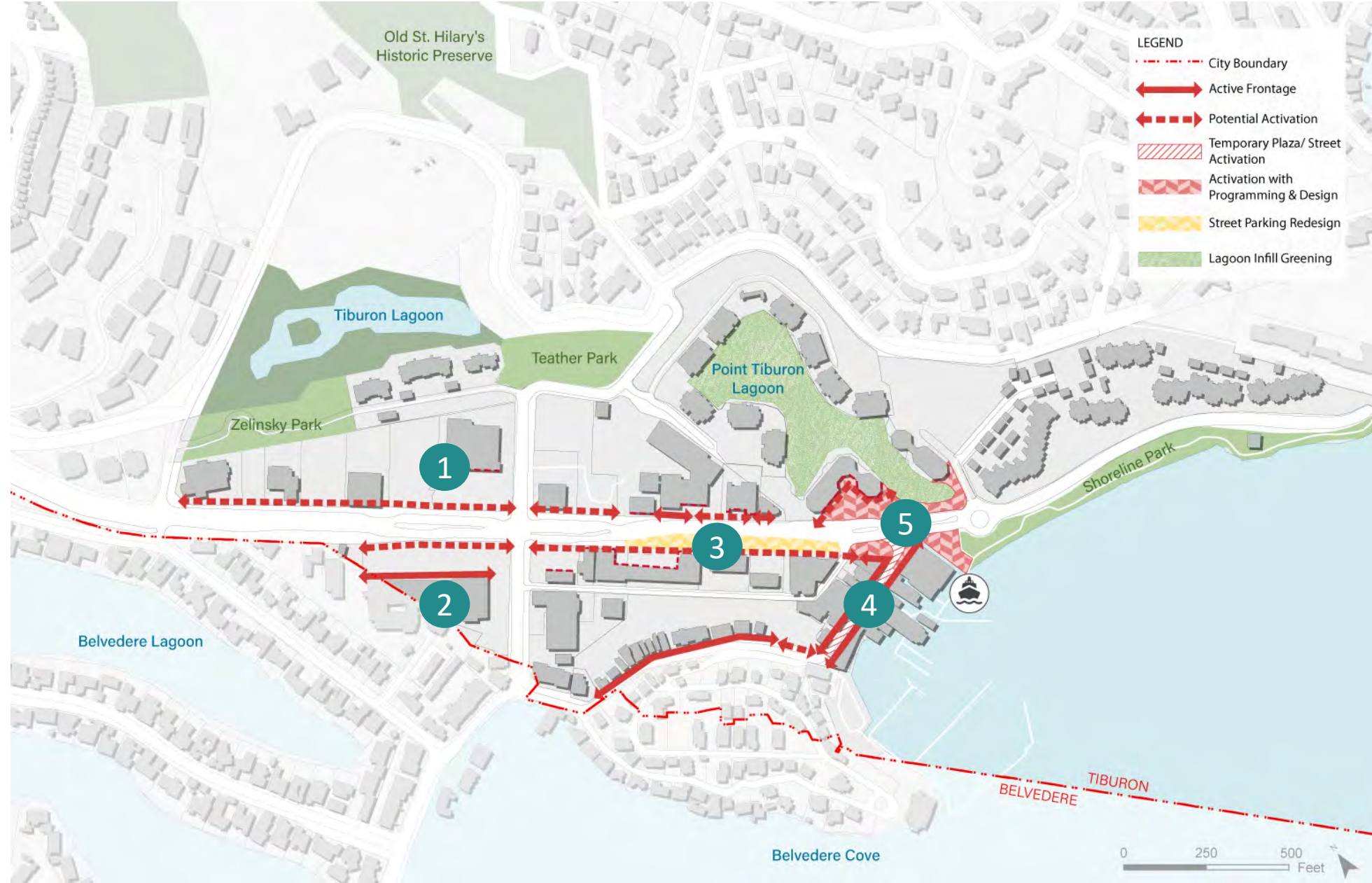
Wayfinding

Downtown wayfinding and identity signage



ACTIVATION OPPORTUNITIES

1. More **businesses and residents** in new buildings
2. **Buildings** that activate streets
3. **Streets** designed for life
4. Transformed **public spaces**
5. Adding **amenities and programming** to public spaces



ACTIVATION OPPORTUNITIES 1 // More Businesses and Residents

Mixed use brings more people downtown



ACTIVATION OPPORTUNITIES 2 // Buildings that Activate Streets

Businesses
lining the
sidewalk



Setbacks for outdoor
seating and gathering



Ground floor
transparency
+ façade
articulation

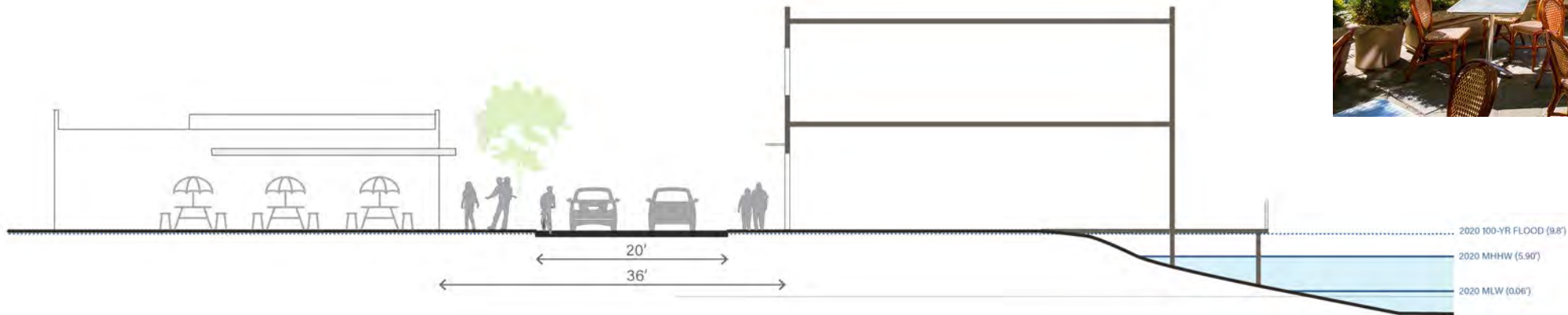


Expanded public realm
and visual interest

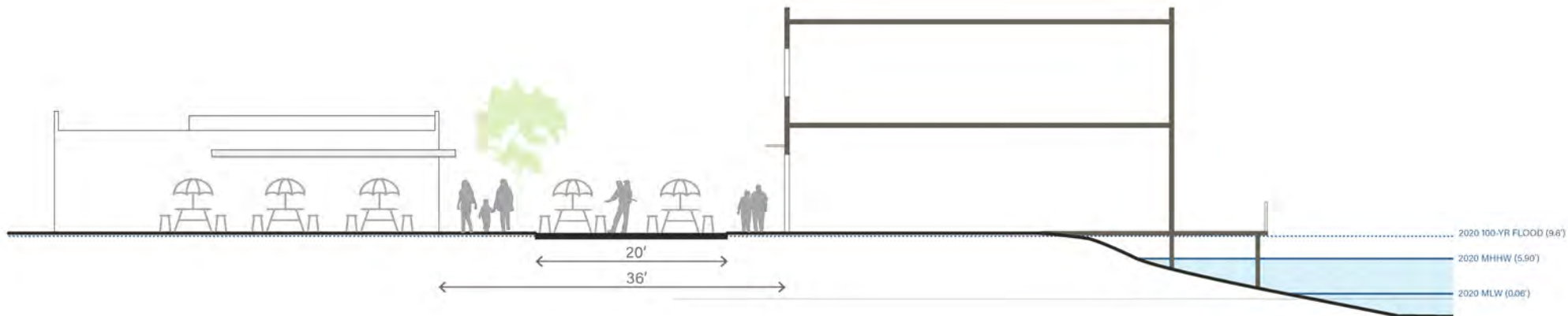


ACTIVATION OPPORTUNITIES 3 // Streets Designed for People

Main Street could be redesigned to have multiple benefits, including supporting more activity downtown



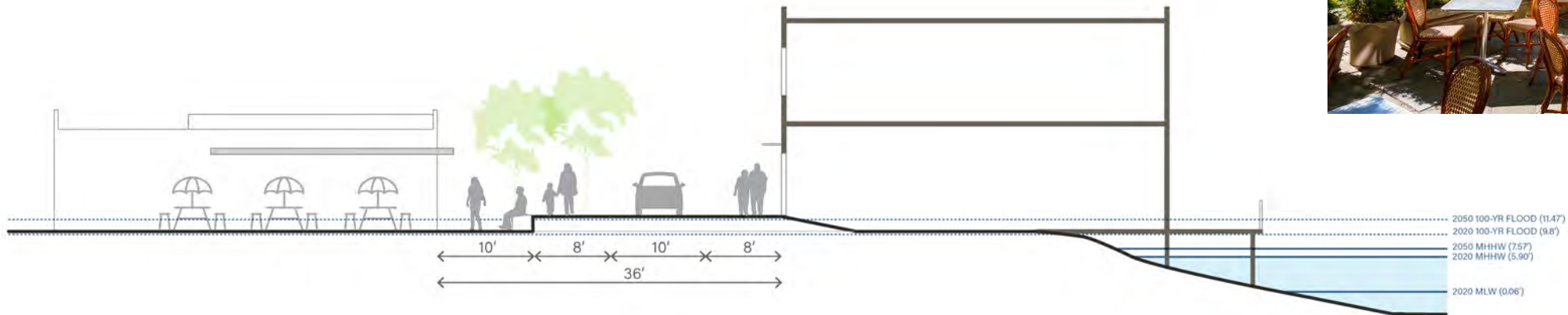
Main Street
Today



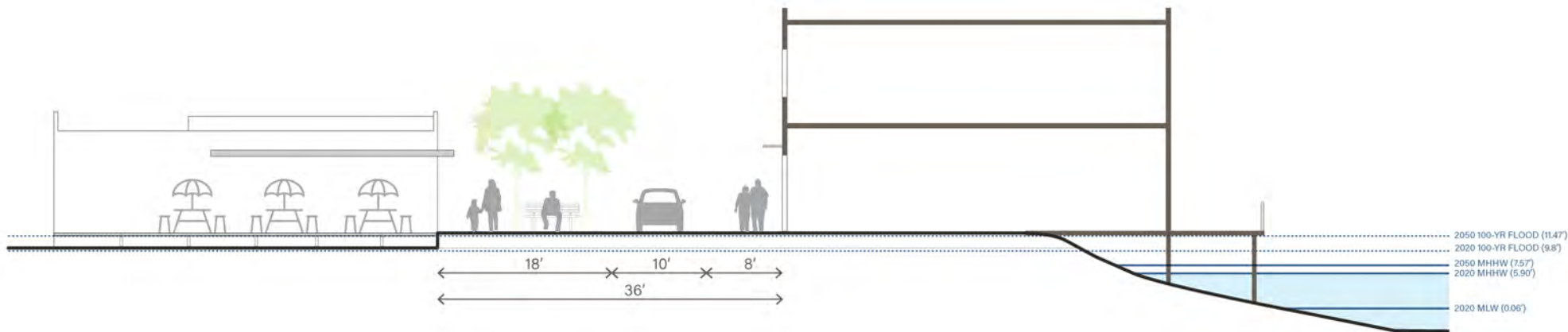
Main Street –
Activated with
Street Life

ACTIVATION OPPORTUNITIES 3 // Streets Designed for People

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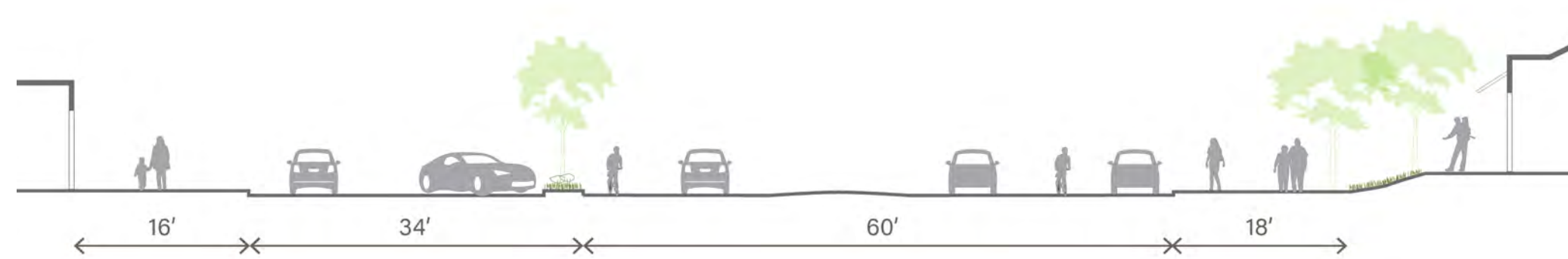
Raising the Street



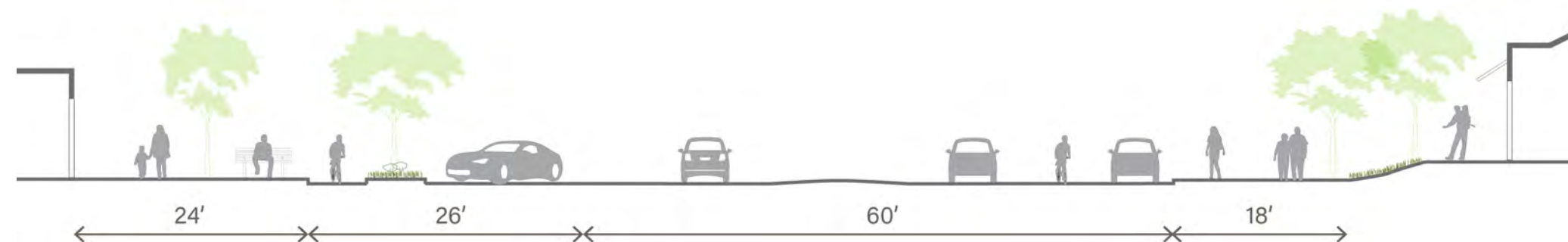
Adapting buildings
over time

ACTIVATION OPPORTUNITIES 3 // Streets Designed for People

***Tiburon Boulevard** could be redesigned to have multiple benefits, including supporting more activity downtown*



Tiburon Boulevard today



Protected bike lane, seating zone, corridor greening

ACTIVATION OPPORTUNITIES 4 // Public Space Transformation

***Point Tiburon Lagoon** could be reimagined as a park and green infrastructure feature*



***Downtown plazas** on both sides of Tiburon Blvd could become better connected to feel like a unified space*

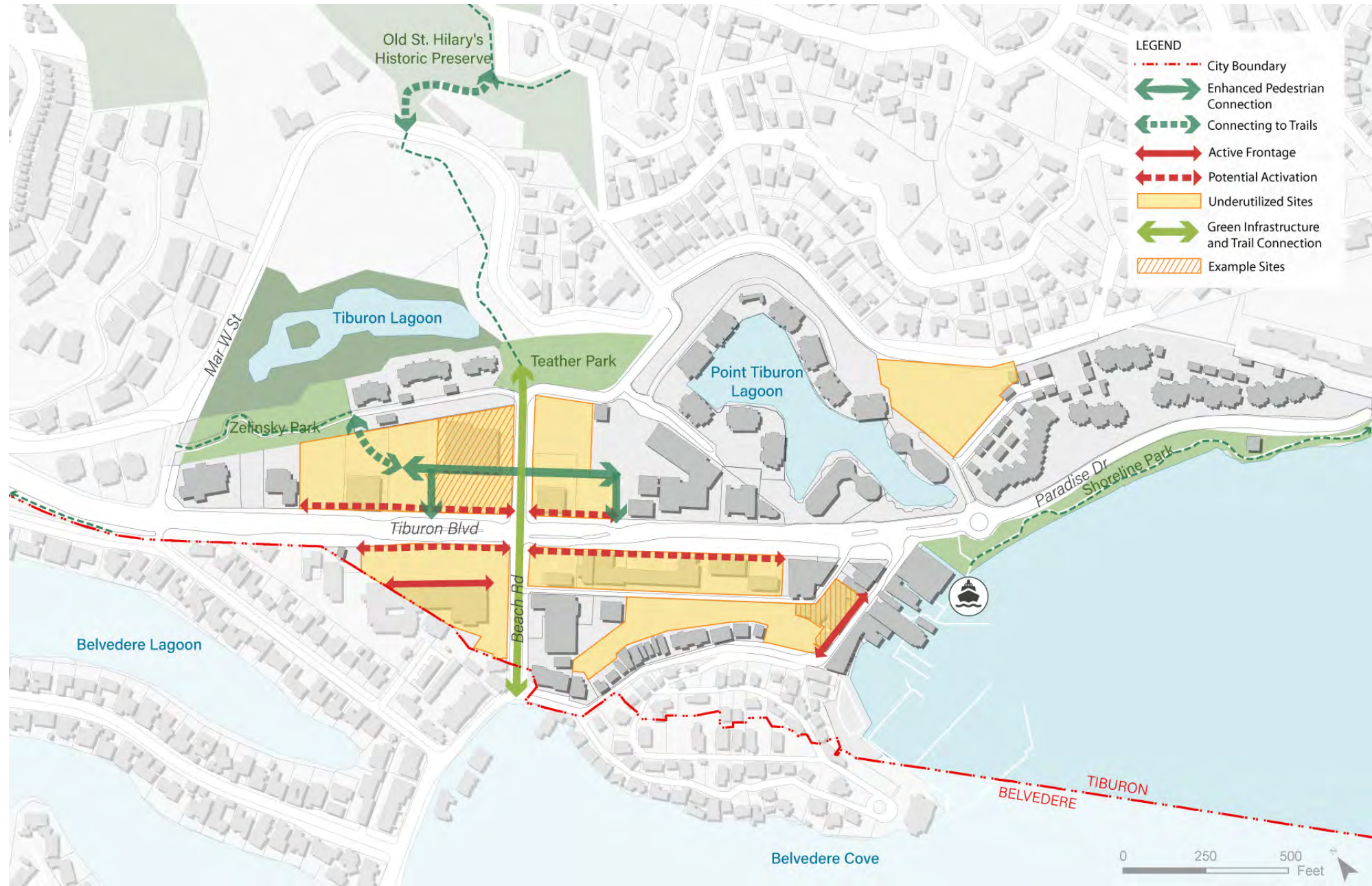
ACTIVATION OPPORTUNITIES 5 // Amenities and Programming

Special amenities and programming could help make Downtown Tiburon thrive

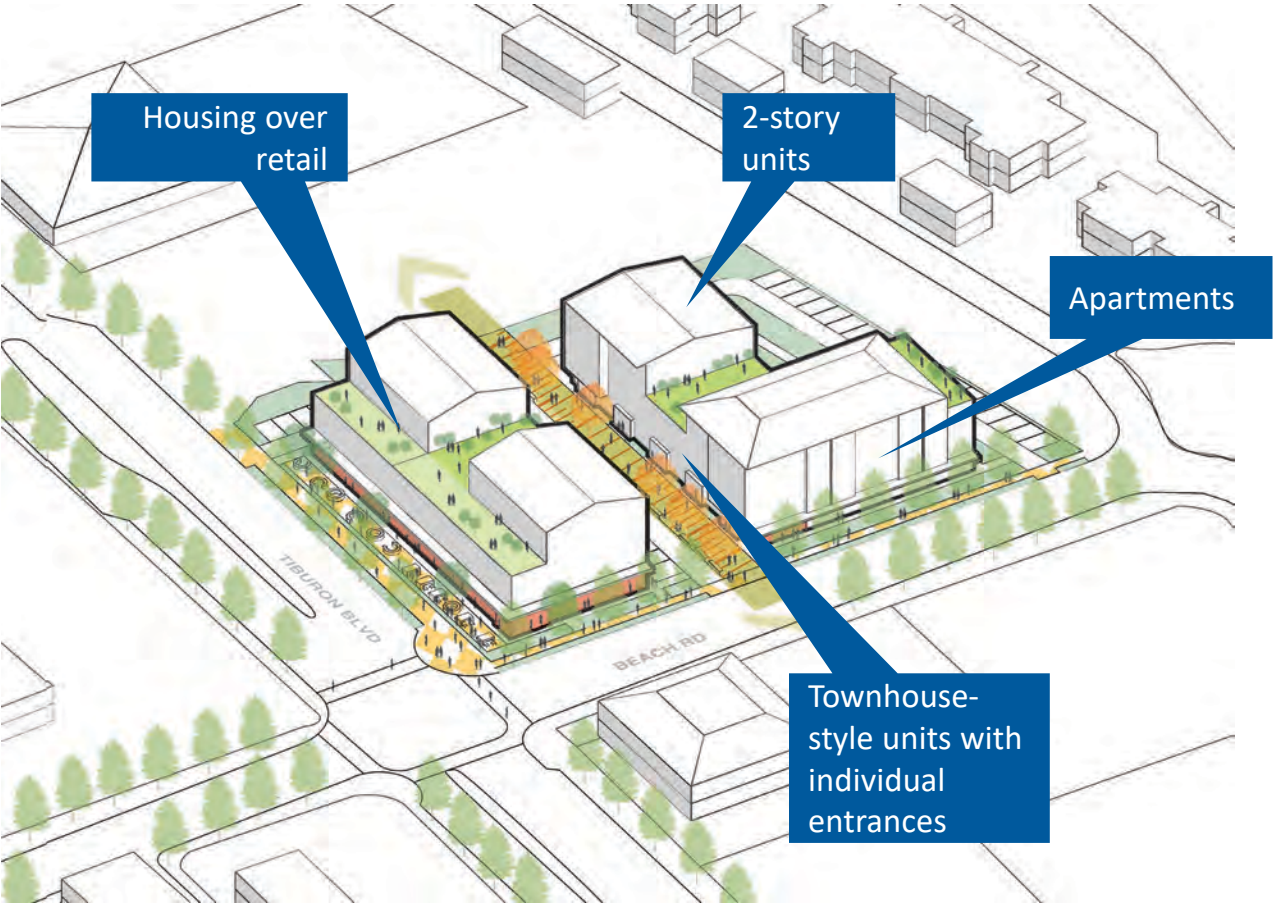


DEVELOPMENT OPPORTUNITIES

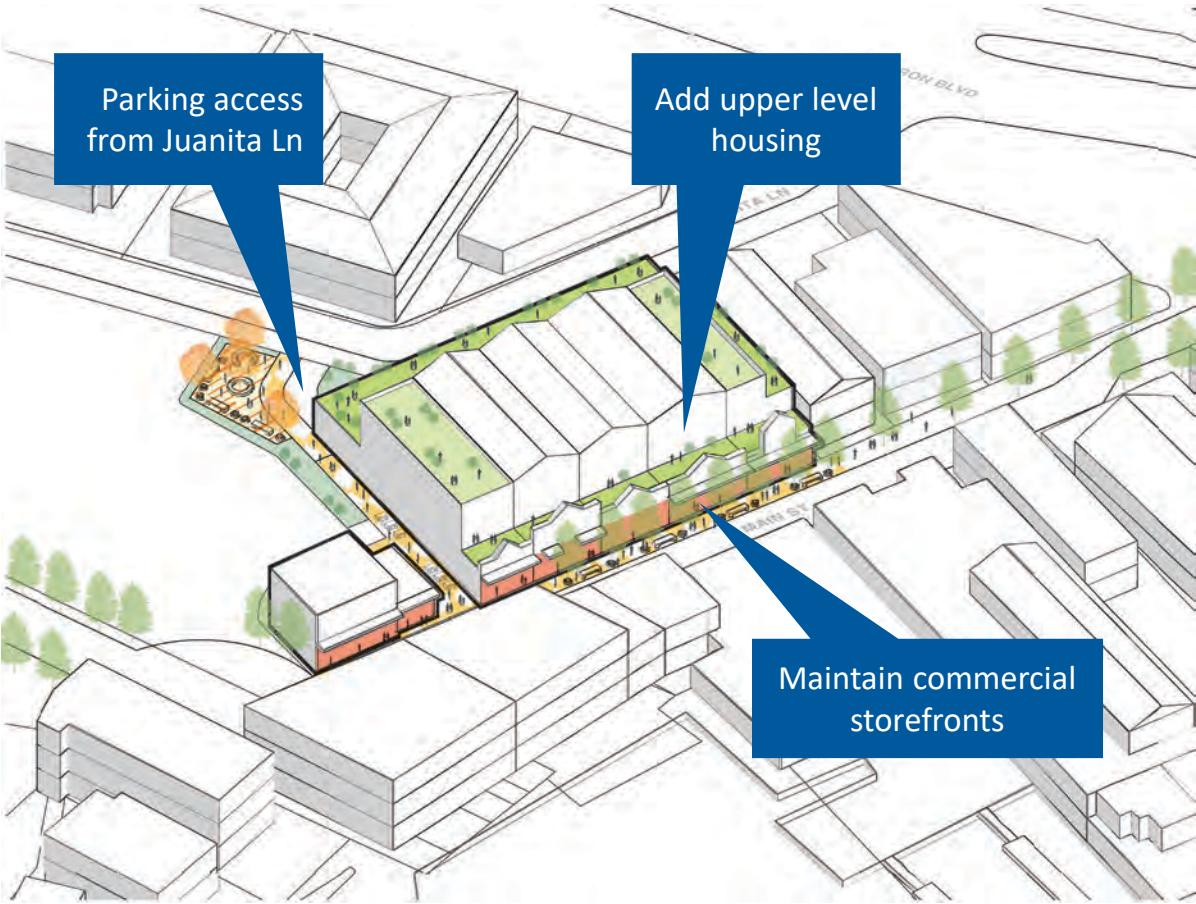
1. Provide diversity of **housing options**
2. Define building standards to **preserve character**
3. Provide a **human scale** along the street
4. Provide new **community amenities**



DEVELOPMENT OPPORTUNITIES 1 // Housing Opportunities

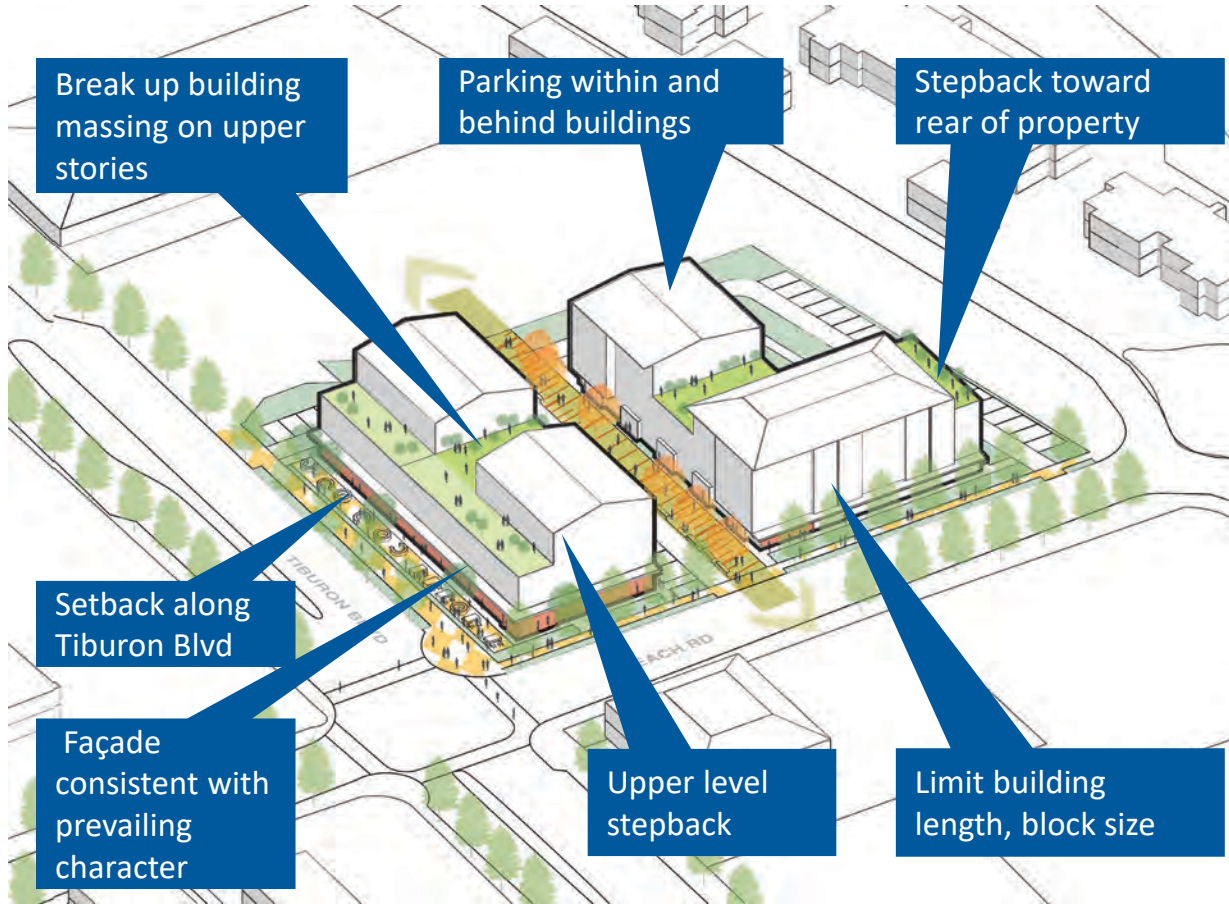


Tiburon Blvd Site Concept

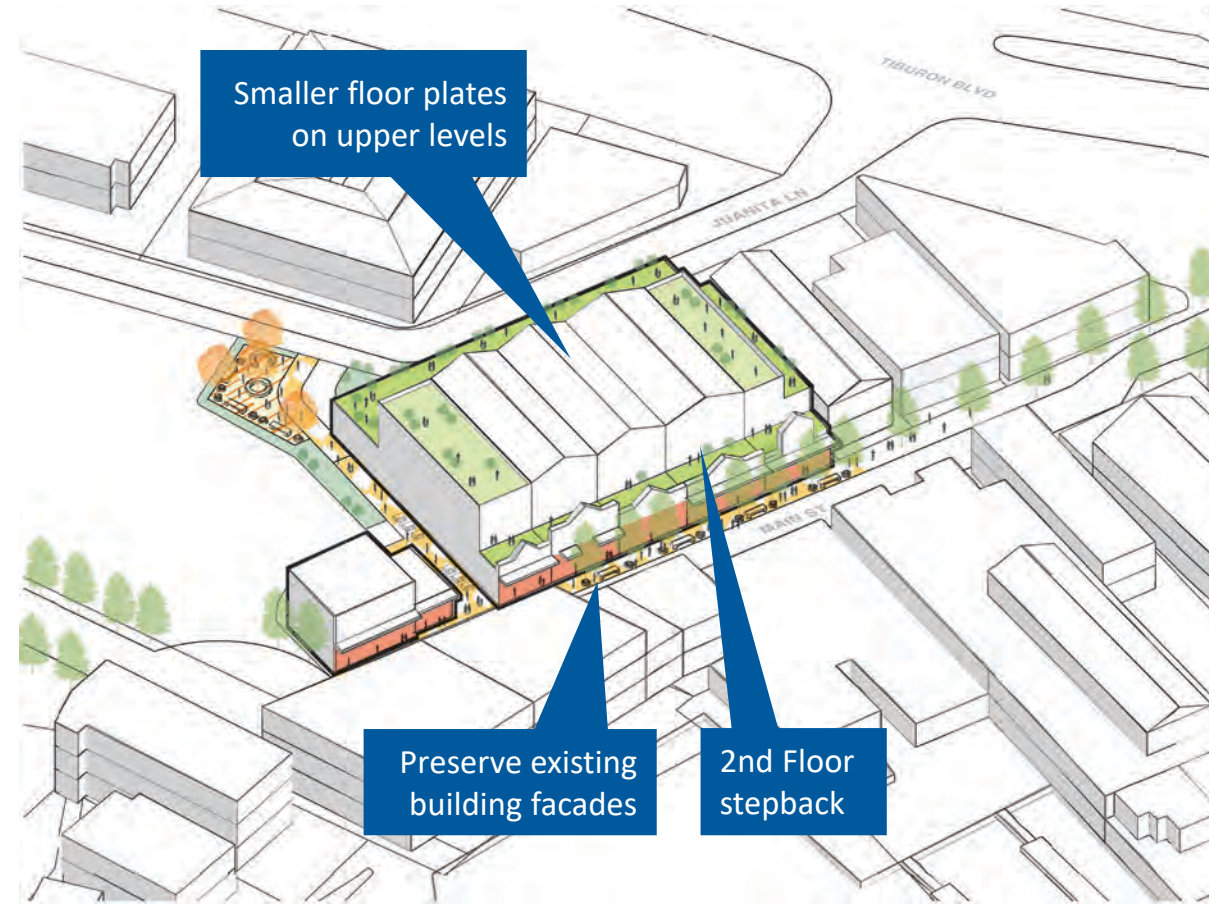


Main Street Site Concept

DEVELOPMENT OPPORTUNITIES 2 // Building Form that Supports Character

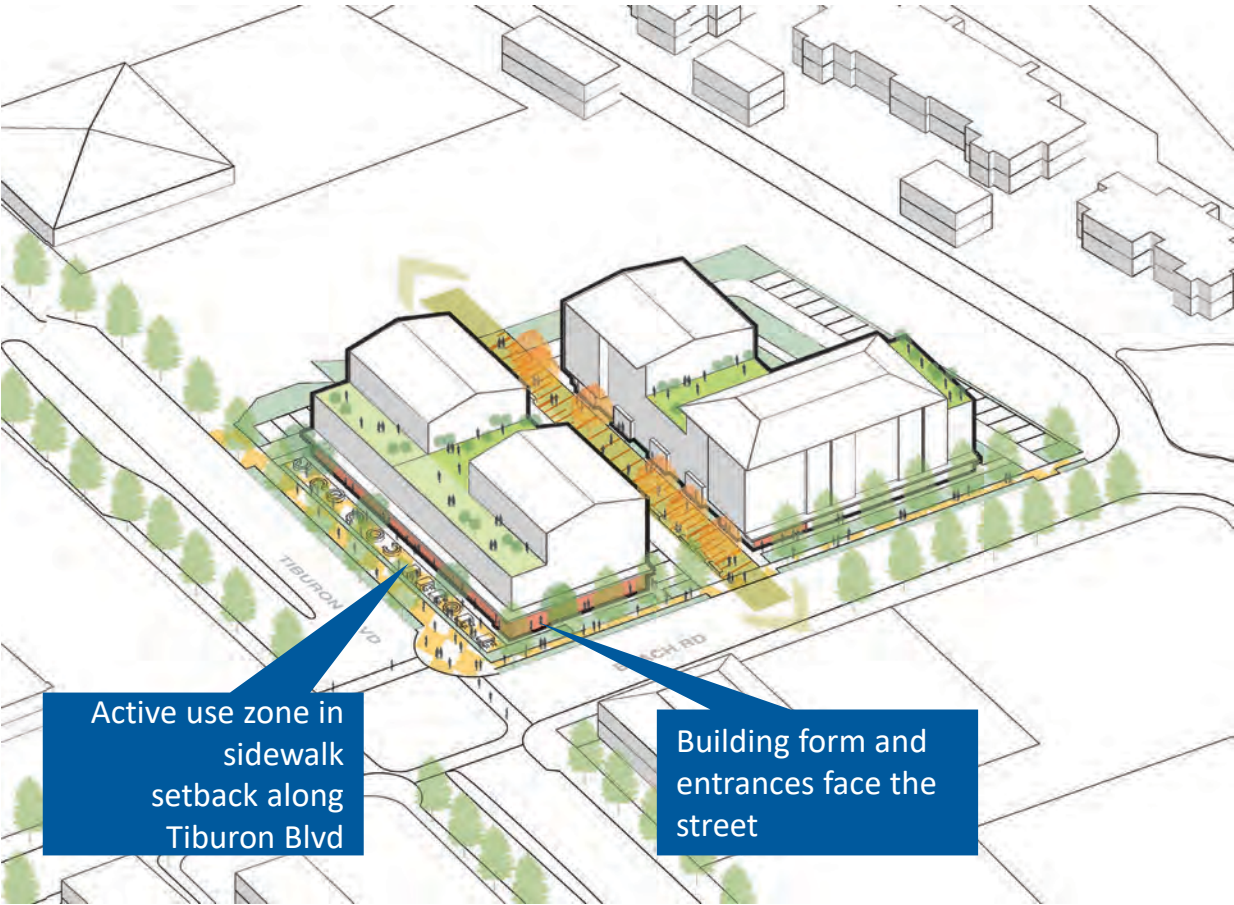


Tiburon Blvd Site Concept

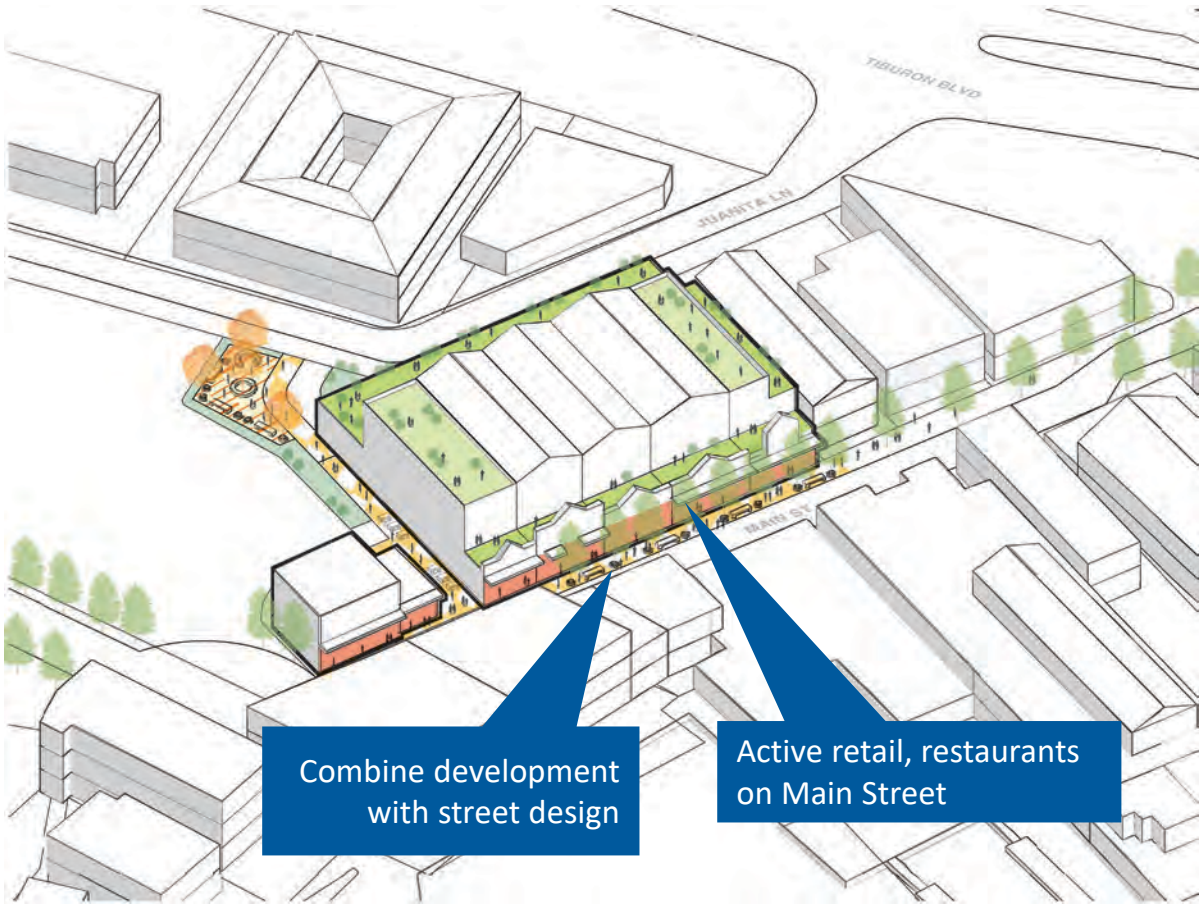


Main Street Site Concept

DEVELOPMENT OPPORTUNITIES 3 // Human Scale at Street Level

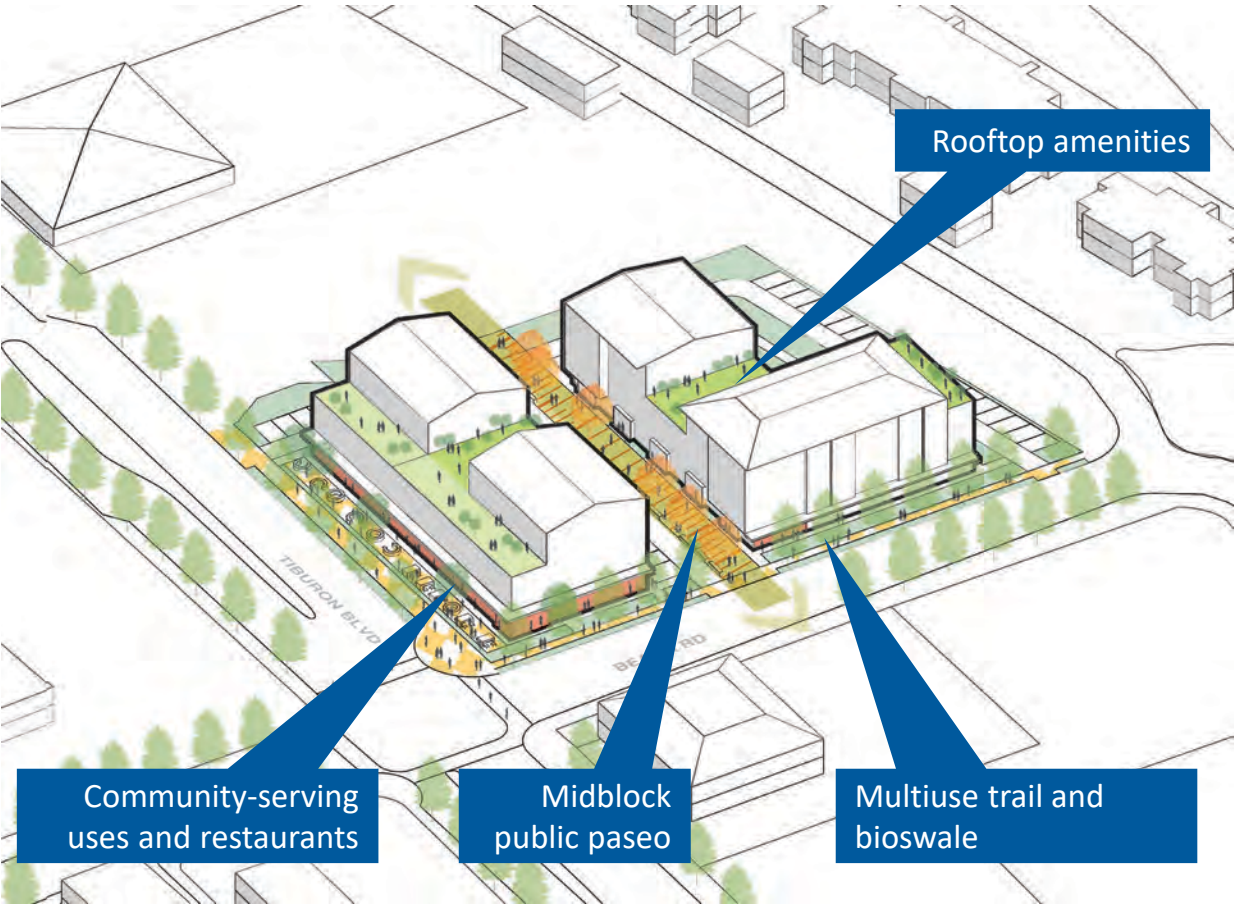


Tiburon Blvd Site Concept

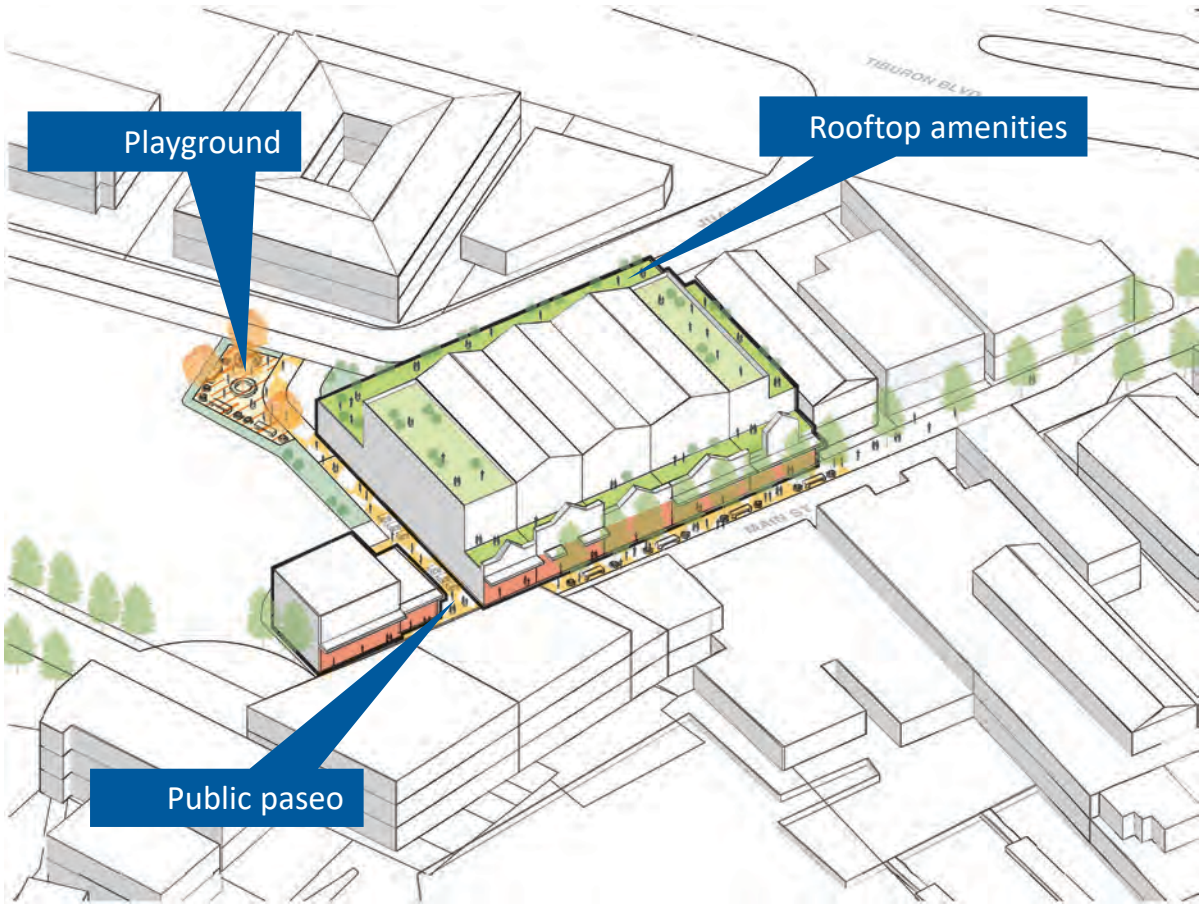


Main Street Site Concept

DEVELOPMENT OPPORTUNITIES 4 // Amenities for the Community



Tiburon Blvd Site Concept



Main Street Site Concept

3. COMMUNITY ENGAGEMENT + FEEDBACK

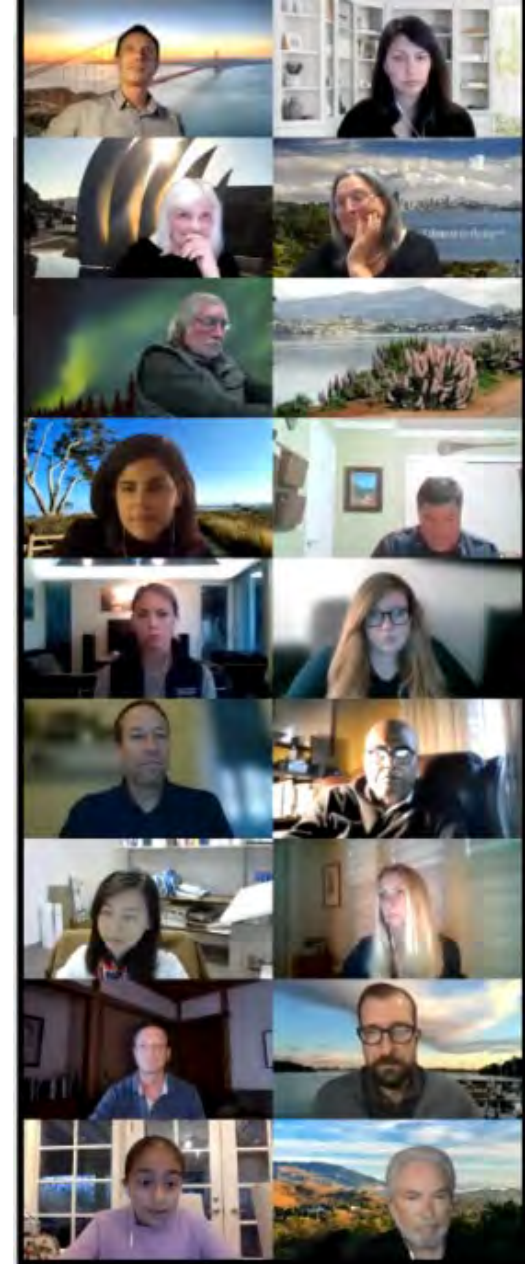
COMMUNITY ENGAGEMENT

Virtual Workshop

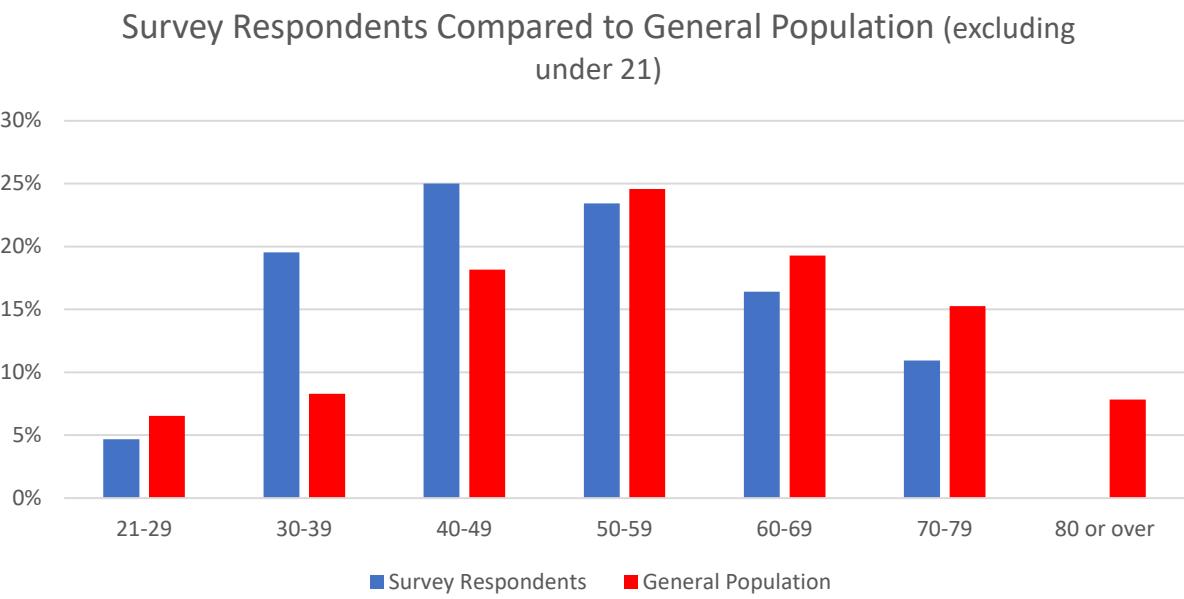
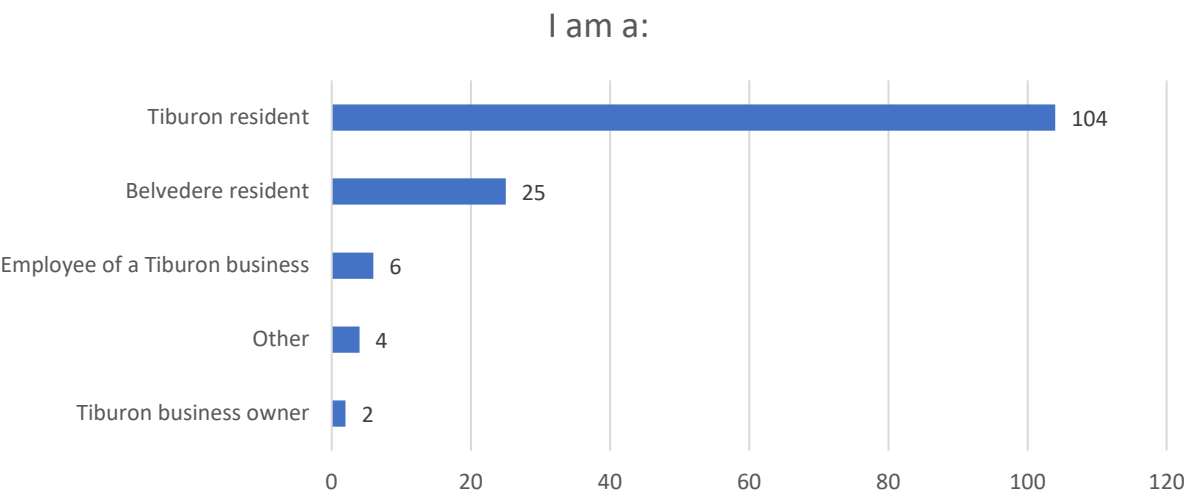
- On Zoom, April 27, 2021
- 30-40 attendees
- Presentation, polling, and breakout discussions
- Three themes: Circulating, Activating and Developing Downtown
- 5 small groups discussed:
 - *What do we like about the concepts presented in each category?*
 - *What other ideas do we feel it's important to bring to the table?*

Online Survey

- Open **May 3** to June 7, 2021
- 137 responses
- Promoted through email blasts, social media
- Questions mirrored the polling questions in the workshop

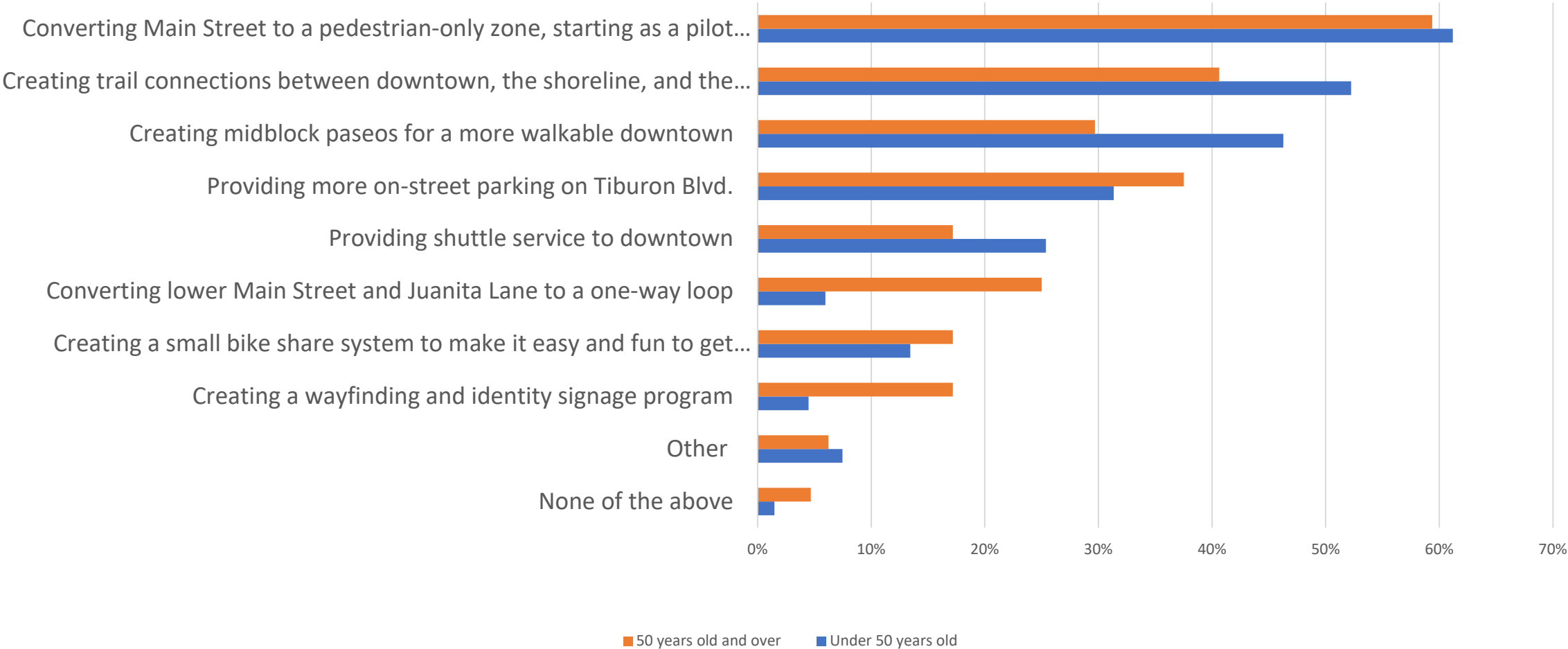


SURVEY RESPONDENTS



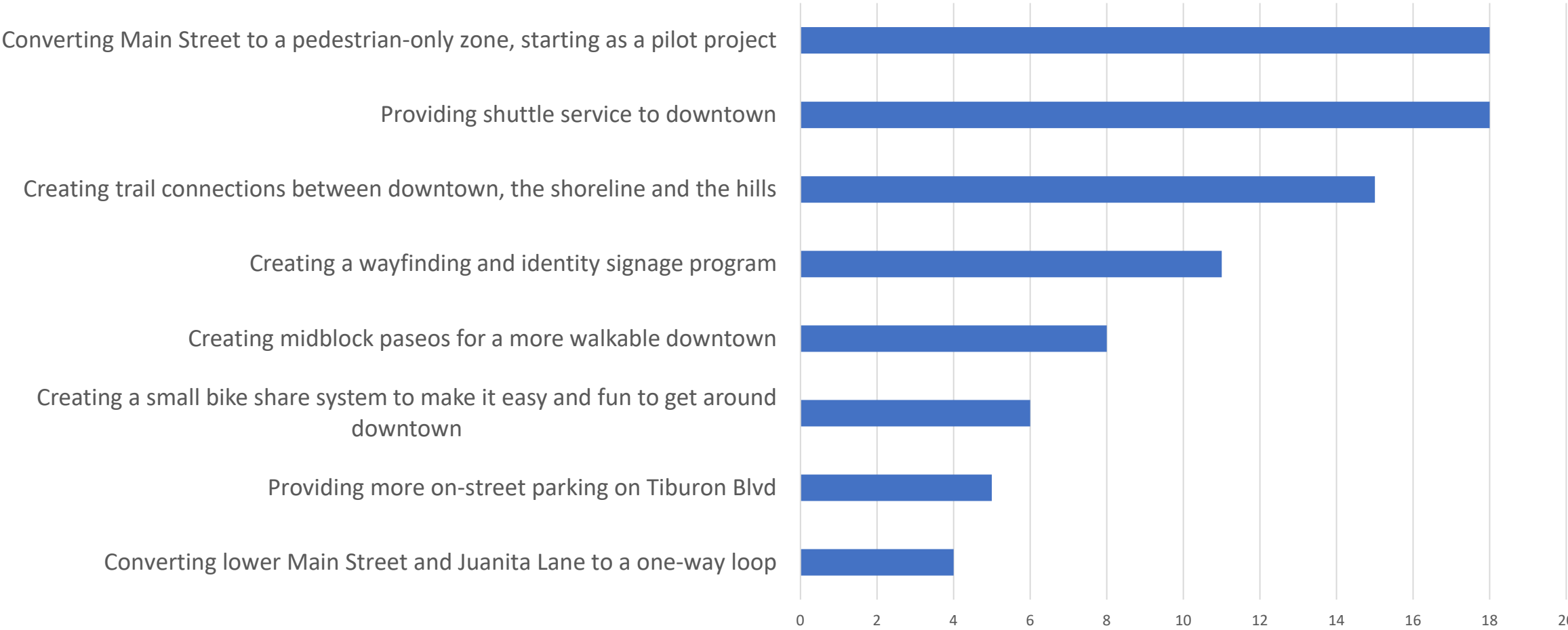
CIRCULATING DOWNTOWN // Survey Results

Which of the following changes do you support for downtown circulation? (Select all that apply)



CIRCULATING DOWNTOWN // Workshop Feedback

Which of the following changes do you support for downtown circulation? (Select all that apply)



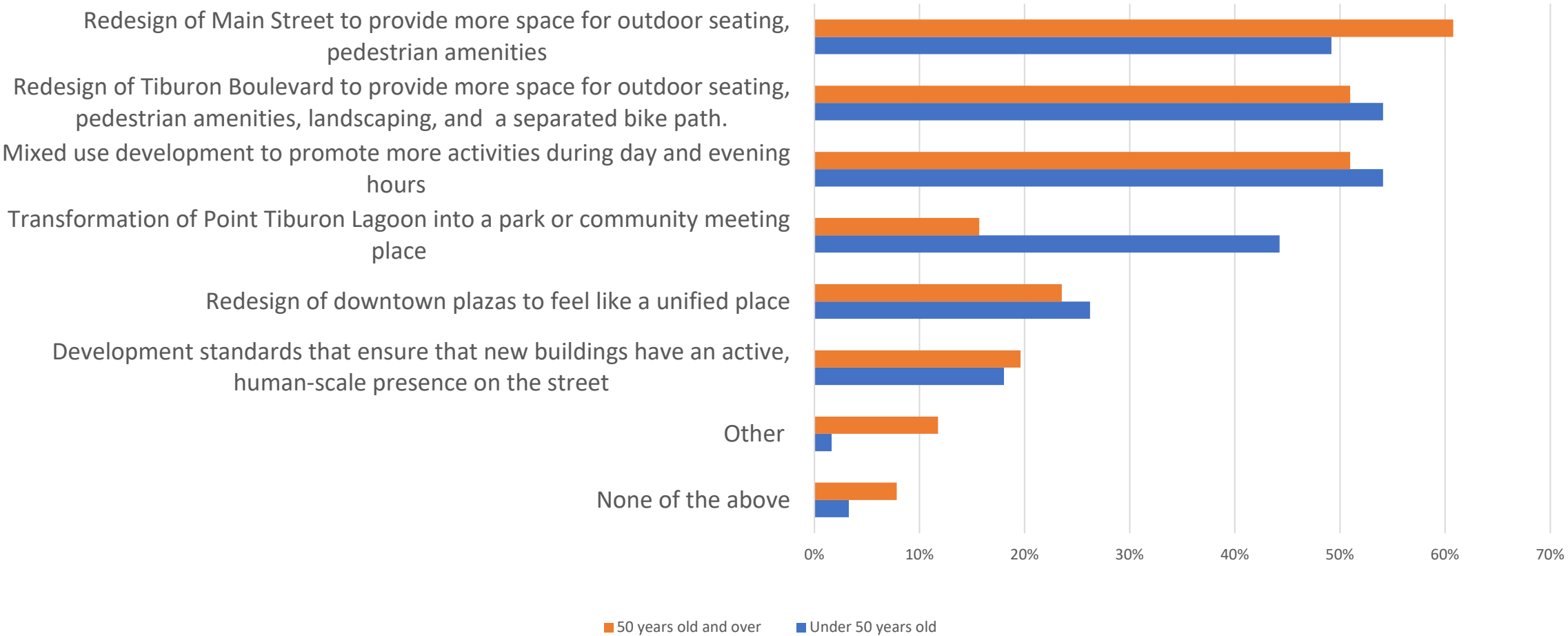
CIRCULATING DOWNTOWN // Workshop Feedback

Small Group Discussions

- Group 1:
 - Streamline “natural flow” between parking areas and destinations
 - Focus on attractive pedestrian movement
- Group 2:
 - Support preventing cars on Main Street and routing vehicle access on Juanita Ln
 - Need safe places to store bikes
 - Incorporate bioswales into street design
 - Paseos are a good idea
 - Ferry service is essential
- Group 3:
 - Need to find continue to provide adequate parking even while making streetscape improvements
- Group 4:
 - Slow streets – transform public space temporarily or permanently
 - Kayak access to the water!
- Group 5:
 - Pedestrian-friendly environment has benefits for businesses and residents
 - Need well-designed wayfinding signage

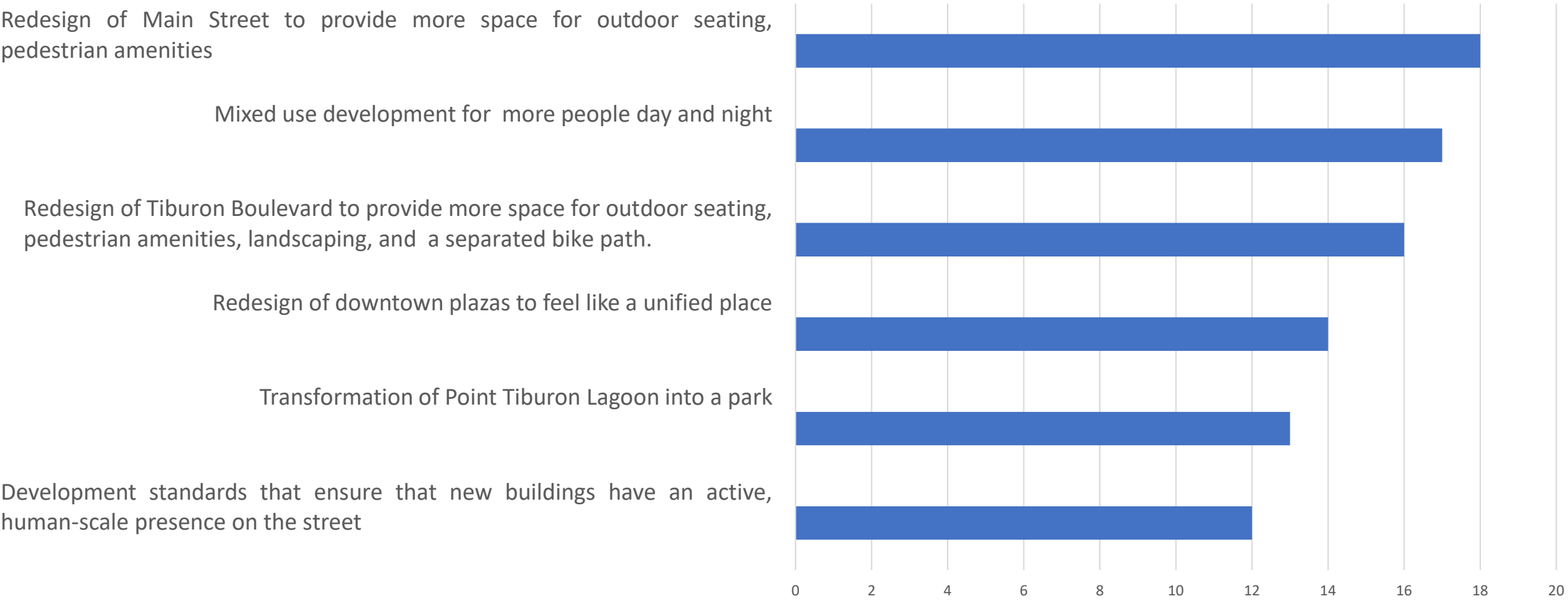
ACTIVATING DOWNTOWN // Survey Results

**Which of the following changes do you support to help activate downtown?
(Select all that apply)**



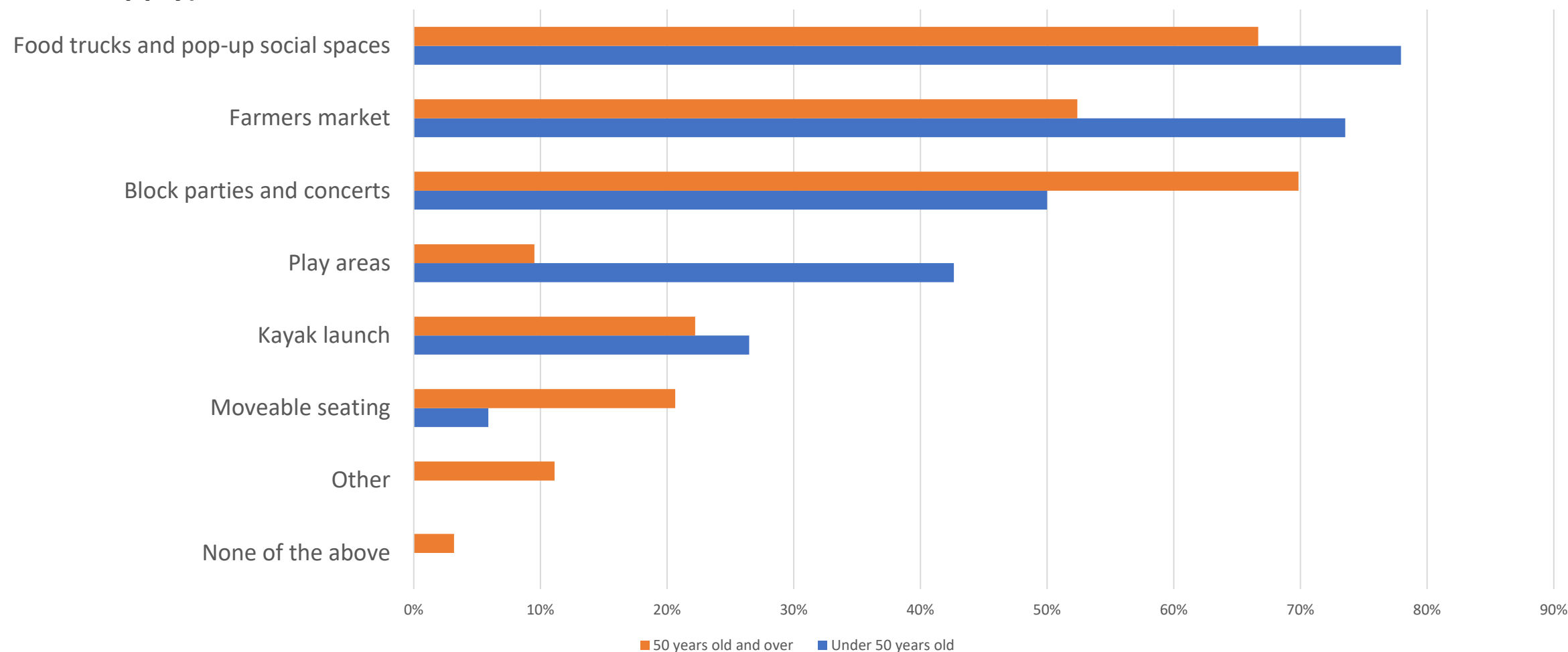
ACTIVATING DOWNTOWN // Workshop Feedback

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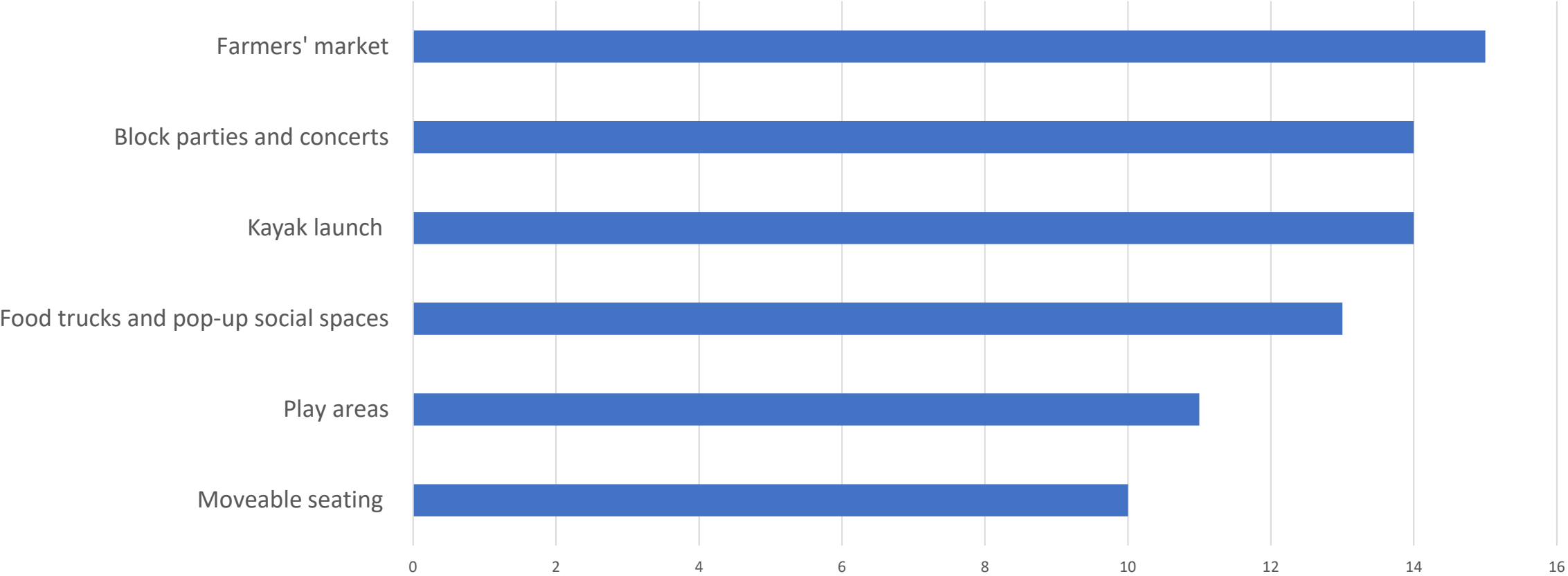
ACTIVATING DOWNTOWN // Survey Results

Which of the following amenities and programming would you like to see downtown? (Select all that apply)



ACTIVATING DOWNTOWN // Workshop Feedback

Which of the following amenities and programming would you like to see downtown? (Select all that apply)



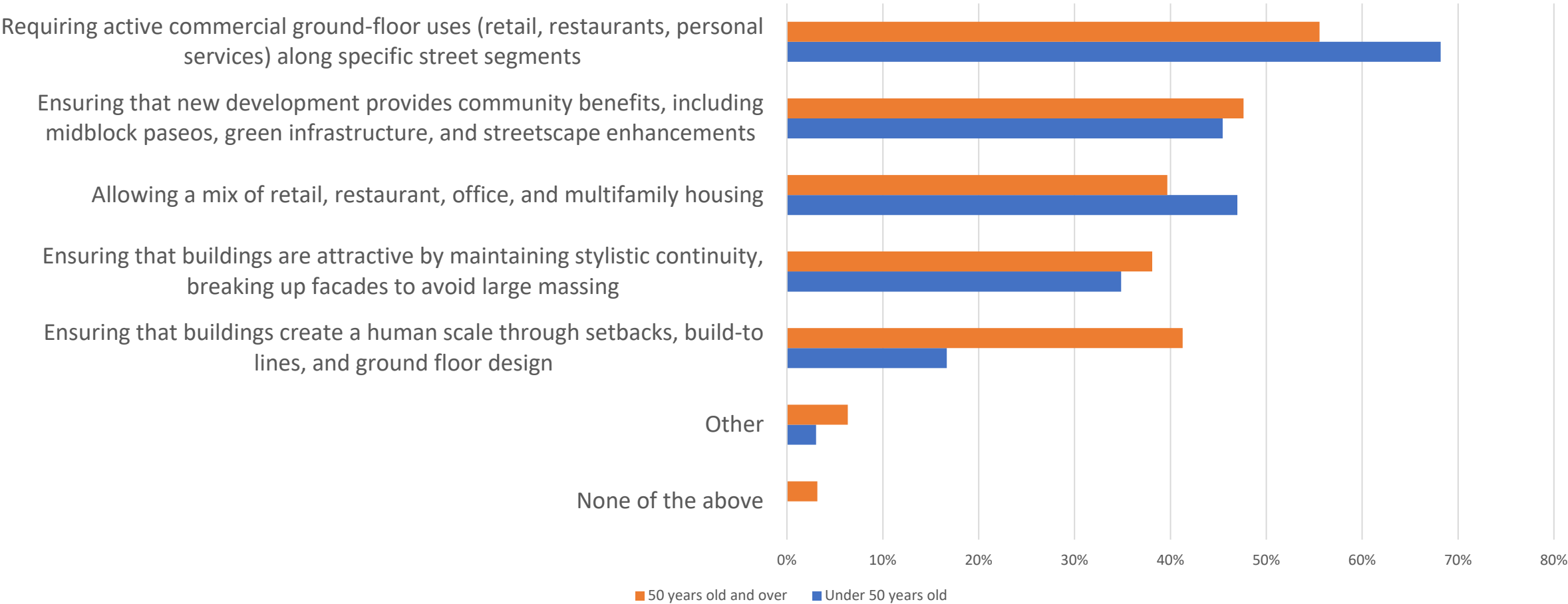
ACTIVATING DOWNTOWN // Workshop Feedback

Activating Downtown

- Group 1:
 - Unify plaza areas
 - Need more active use of the bay
- Group 2:
 - Food trucks, farmers' market, outdoor concerts: bring back life!
 - Tiburon Blvd has good potential, with Library as new center of activity
 - Turning lagoon into park is a great idea
 - Playground could bring kids downtown
- Group 3:
 - Events are important way to bring residents downtown
 - More people living downtown will support more activity
 - Tiburon Blvd activation is promising, but will require working with Caltrans
- Group 4:
 - Create safe, peaceful, shady public spaces
 - Cultivate multigenerational appeal, local, unique businesses
- Group 5:
 - Want more shops and restaurants, fewer banks and offices on ground floor
 - Make downtown events friendly and fun
 - Love the idea of transforming public spaces
 - Not enough for teenagers to do

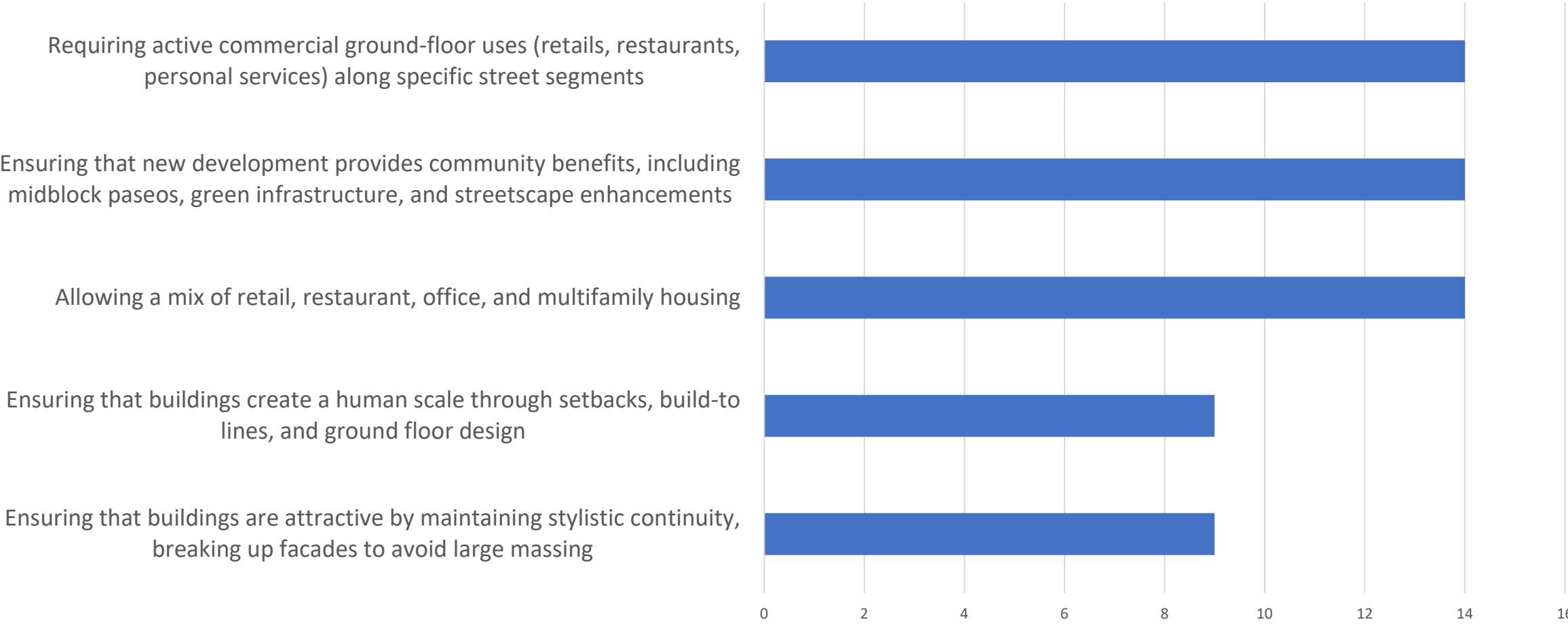
DEVELOPING DOWNTOWN // Survey Feedback

Which of the following do you support to ensure a high quality of development? (Select all that apply)



DEVELOPING DOWNTOWN // Workshop Feedback

Which of the following do you support to ensure a high quality of development? (Select all that apply)



DEVELOPING DOWNTOWN // Workshop Feedback

Developing Downtown

- Group 1:
 - Napa revitalization is a good example of housing over retail
- Group 2:
 - Treasure Island is a good model of allowing reduced parking and subsidizing ferry passes
- Group 3:
 - Larger buildings don't feel consistent with Tiburon character
 - Responding to climate change and other issues (e.g. workforce housing, activation) point to need for more dense environments
 - Corner of Tiburon Blvd and Beach Rd clearly has potential to be higher-density
- Group 4:
 - Like scale and feel of Carmel example
 - Can imagine mixed use buildings and pedestrian flow
- Group 5:
 - Mixed use could be desirable, but shouldn't displace existing businesses
 - Need to meet housing requirements, but concerned about loss of character
 - More residents could help bring more retail and restaurants

SUMMARY OF COMMUNITY FEEDBACK

	Circulating Downtown	Activating Downtown	Developing Downtown
Polling Questions	• Converting Main St. to pedestrian-only • Creating trail connections • Creating midblock paseos	• Redesign Main St. to provide more space for outdoor seating, amenities • Redesign Tiburon Blvd to provide above plus landscape, separated bikeway • Mixed use development to promote activity • Food pods, farmers' market, block parties and concerts	• Requiring active ground-floor uses along certain segments • Ensuring that new development provides community benefits • Allowing a mix of retail, restaurant, office, and multifamily housing
Discussions	Focus on creating an attractive pedestrian-friendly environment	Events that attract the full spectrum of the community are essential	Need to respond to climate change and housing needs, but also need to maintain character

4. POLICY FRAMEWORK

APPROACH TO UPDATING THE PLAN FOR DOWNTOWN

Approach to Policies

- **Remove** goals, policies and programs that have been achieved or no longer serve needs
- **Update** goals, policies and programs to reflect current conditions and needs
- **Create** new goals, policies and programs that reflect current issues and community vision
- Use **clear, active language**
 - Avoid ambiguities and bureaucratic statements
- Use **positive tone**

Approach to Map

- Adjust land use district **definitions** to achieve today's policy goals
- Adjust district **boundaries** to craft the downtown experience we want

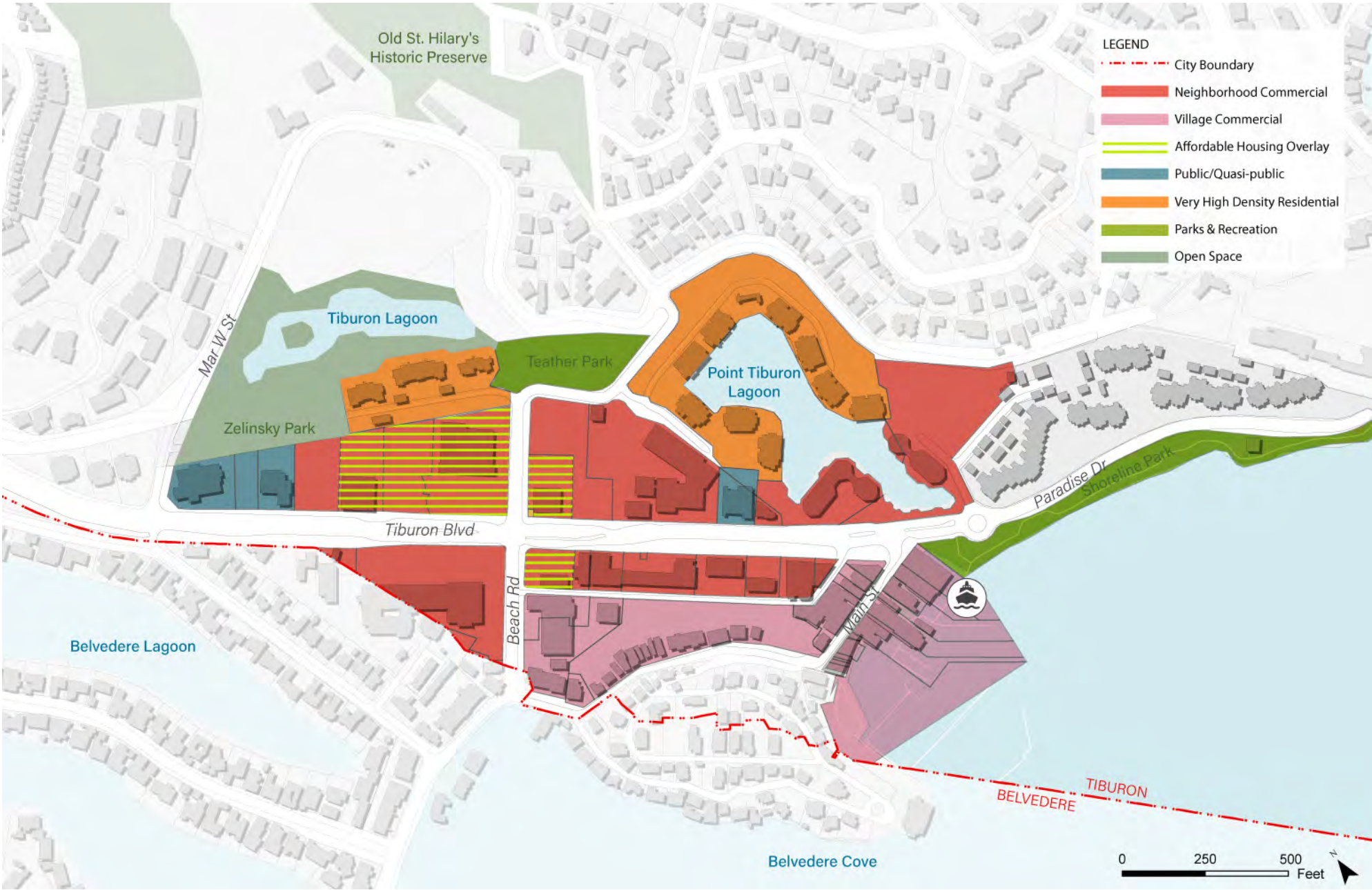
PROPOSED POLICY FRAMEWORK FOR DOWNTOWN

Restructure policies to address the issues and support the vision of today’s community.

Policy Areas	Land Use Mix and Activation	Downtown Character and Design	Access and Circulation	Public Facilities, Spaces, and Amenities
Subjects of Individual Policies	• Central Gathering Space • Mix of Uses • Meeting Housing Needs • Economic Vitality	• Distinct Character Areas • Historic Resources • Architectural Compatibility • Pedestrian-Friendly Ground Floor • Building Placement, Height and Massing	• Access for All Modes • Prioritize Pedestrians • Connections to Bay and Hills • Green Infrastructure • Wayfinding and Identity Signage	• Public Facilities • Downtown Public Spaces • New Public Amenities • Programming • Public Art

DOWNTOWN LAND USE DISTRICTS

Adjust district definitions and boundaries to achieve today's goals and craft the experience of downtown.



5. PLANNING COMMISSION DISCUSSION

DISCUSSION QUESTIONS

Circulating Downtown

- Should the Plan promote testing a pedestrian-only Main Street? Studying a one-way loop on Main and Juanita?
- What other ideas (e.g. trail connections, paseos, wayfinding and identity signage) are most important for creating a pedestrian-friendly downtown?

Activating Downtown

- Should the Plan promote exploring street design changes to promote activity, enjoyment, and adaptation?
- What amenities are most important to bring people downtown?
- Where should active commercial or retail-ready space be required?

Developing Downtown

- Which downtown sites should be the focus for future housing development?
- What are the important design characteristics of future development along Tiburon Boulevard? Along Main Street?

NEXT STEPS

- PC Meeting on July 28th to review draft Downtown goals, policies and programs
- Town Council meeting in August to discuss policy alternatives for Downtown, Safety + Resilience, Conservation, Parks and Recreation, and Open Space Elements
- Upcoming workshops on Housing and Transportation
- Draft General Plan in March 2022





Tiburon General Plan Update

Downtown

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