

# **PUBLIC REVIEW DRAFT, OCTOBER 26, 2022 DIVISION 16-23 DOWNTOWN DISTRICTS**

For review by Tiburon Planning Commission and  
the Town of Tiburon, Community Development Department

Prepared by  
Wallace Roberts & Todd, Urban Design & Planning  
Sustainable Community Planning, Municipal Ordinance Consultant  
O'Rourke & Associates, Prime Consultant







# DIVISION 16-23 DOWNTOWN DISTRICTS

## TABLE OF CONTENTS

.010	PURPOSES .....	1
.020	ALLOWABLE LAND USES AND PERMIT REQUIREMENTS.....	3
.020.A	General Permit Requirements.....	3
.020.B	Change of Use & Additional Uses .....	3
.020.C	Use-for-Use Changes & Minor Structural Alterations .....	3
.020.D	Pre-Existing Uses.....	3
.030	SITE PLANNING .....	6
.030.A	Site Standards.....	6
.040	BUILDING ENVELOPE & PLACEMENT .....	6
.040.A	Heights, Setbacks & Stepbacks .....	6
.040.B	Allowable Projections into Setbacks .....	9
.050	STREET FRONTAGES .....	11
.050.A	Relationship of Building to Street.....	11
.050.B	Commercial Street Frontage.....	14
.050.C	Residential Street Frontage.....	18
.050.D	Community Open Space Street Frontage .....	18
.050.E	Site Access & Service Areas. ....	19
.060	BUILDING SCALE & DESIGN .....	20
.060.A	Scale of Development.....	20
.060.B	Exterior Finish Materials.....	22
.060.C	Windows .....	24
.070	OPEN SPACE.....	26
.070.A	Private & Semi-Private Open Space.....	26
.070.B	Public & Publicly-Accessible Open Space.....	27
.070.C	Community Open Space.....	28
.080	LANDSCAPE DESIGN .....	31
.080.A	Vegetation.....	31
.080.B	Hardscape.....	31
.080.C	Fences & Walls.....	31
.080.D	On-Site Lighting.....	32
.090	PARKING .....	32
.090.A	Number of Parking Spaces Required .....	32
.090.B	Parking Design Standards .....	32
.090.C	Bicycle Parking .....	33
.100	DEFINITIONS .....	34

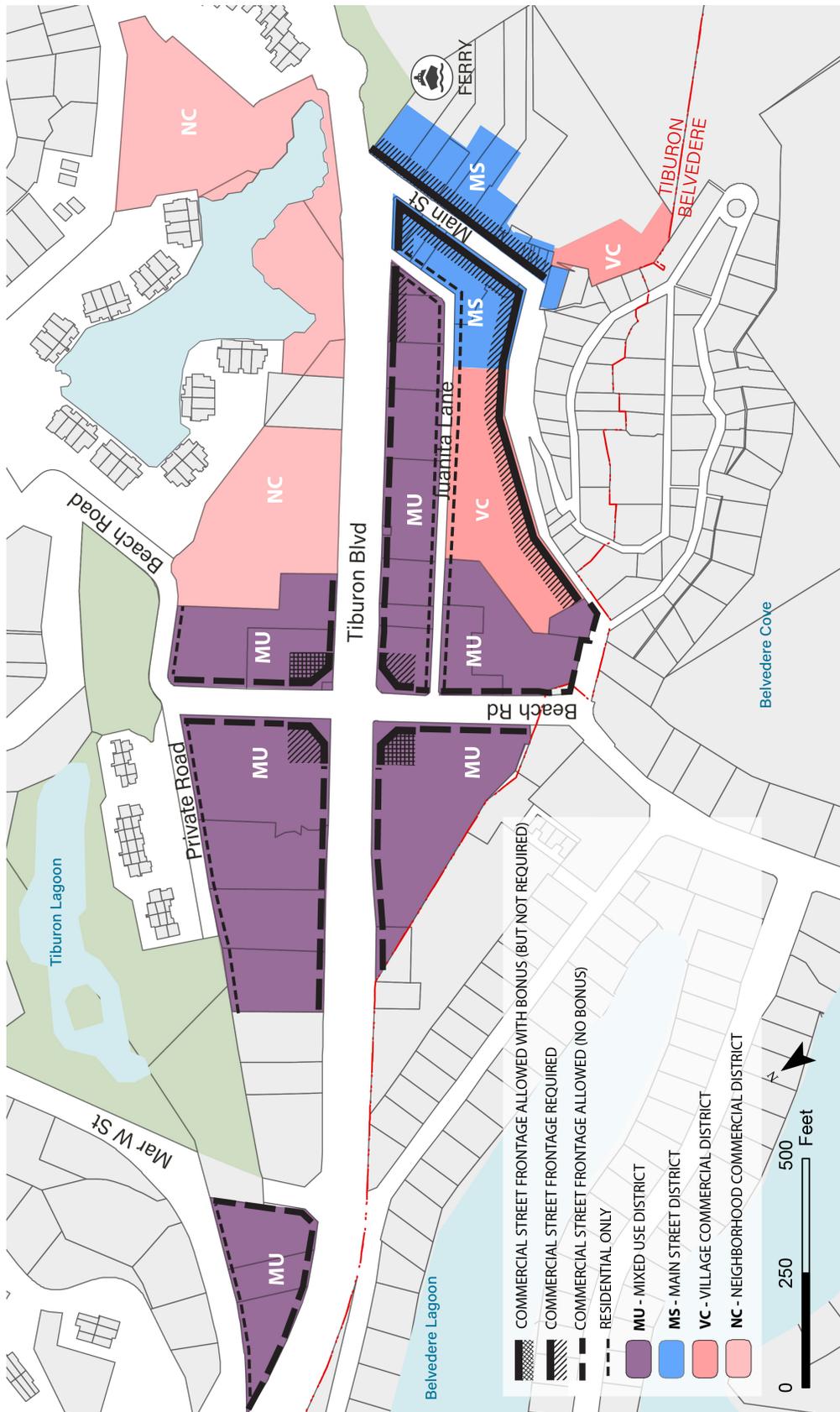


## .010 PURPOSES

The purposes of Division 16-23 is to establish standards for land uses, site layout, and building form and design in the Downtown zoning districts including the MS (Main Street), VC (Village Commercial) and MU (Mixed Use) Districts. These requirements constitute “objective standards” under current and future State housing law, including but not limited to Government Code sections 65913.4, 655589.5 and 756852.21, to provide clear development standards that allow for streamlined review processes.

Further, the purposes of this Division are to:

- a. Reinforce Downtown as a cultural and commercial destinations
- b. Accommodate infill housing of appropriate scale and character;
- c. Maintain and enhance Downtown’s design character;
- d. Facilitate transitions from lower scale residential areas to mixed-use Downtown zoning districts that are compatible with adjacent residential neighborhoods;
- e. Remove barriers to revitalization and reinvestment through clear, objective, and context-sensitive standards;
- f. Promote a walkable compact development pattern that supports safe and convenient pedestrian mobility and other multi-modal transportation options;  
and
- g. To implement Tiburon General Plan’s Downtown Element and Housing Element of the Tiburon General Plan.



**Figure .020 Zoning Districts & Street Frontages**

## .020 ALLOWABLE LAND USES AND PERMIT REQUIREMENTS

### .020.A General Permit Requirements.

Table .020 Allowed Land Uses & Permit Requirements identifies the uses allowed in each Downtown District, and the zoning permit required to establish each use, in compliance with Section .020 Allowable Land Uses and Permit Requirements. Permitted uses are shown as "P" in Table .020. Allowed Land Uses & Permit Requirements.

### .020.B Change of Use & Additional Uses

Changes made to the existing land use that are not qualified as Use-for-Use Changes and additional specific uses which are, in the determination of the director, similar or accessory to those uses listed in Table .020 Allowed Land Uses & Permit Requirements shall be permitted only when a conditional use permit is granted therefore as provided in Section 16-52.040 (conditional use permit) and shown as "U" uses in Table .020 Allowed Land Uses & Permit Requirements.

### .020.C Use-for-Use Changes & Minor Structural Alterations

Use-for-use changes (e.g., restaurant to restaurant) or minor structural alterations when no substantive intensification of use, as determined by the Director of Community Development are allowed; except that land uses precluded on the ground floor of required Commercial Frontages as set forth in Table .020 Allowed Land Uses & Permit Requirements and as indicated in Figure .020 Zoning Districts & Street Frontages may not expand their floor area on the ground floor. Substantive intensification of use shall be measured in terms of parking requirements, number of employees at maximum shift, total floor area occupied, vehicular trip generation, or other factors within the reasonable discretion of the director. The term "use-for-use changes" is qualified to limit its applicability to situations where the replacement use is substantially similar to the prior use in the reasonable discretion of the Director.

### .020.D Pre-Existing Uses

Lawfully existing uses established prior to December 26, 1990, shall be permitted to operate under the authority and limitations of applicable zoning permits.

<b>Table .020 Allowed Land Uses &amp; Permit Requirements</b>		P: Permitted use U: Conditional Use Permit — : Use not allowed * : Use not allowed on the ground floor where Commercial Frontage is required(1)			
LAND USE	PERMIT REQUIREMENT			Specific Use Regulations	
	MS	MU	VC		
Retail Including, but not limited to: art supply stores, dry goods, candy, pharmacies, florists, furniture stores, garden supplies, hardware, paint, auto parts, jewelry, clothing, shoes, music, sporting goods, stationery and office supplies, electronics, pet supplies, art galleries, stamp & coin shops, toy stores, newsstands & firearms sales	P	P	P		
Souvenir Shops	P	—	P		
Firearms sales	—	—	—		
Personal Services Including, but not limited to: barber shops, beauty salons, nail salons, massage establishments, photography and art studios, dry cleaning establishments without on-site processing, laundromats, music/dance/art instruction, or travel agencies	P	P	P		
Dry cleaning establishments with on-site processing	—	U	—		
Food and Beverage Including, but not limited to: restaurants, bars/cocktail lounges, wine shops with on-site tasting, brewpubs, outdoor eating areas, any establishment serving any alcoholic beverage on the premises, grocery stores, convenience markets, liquor stores, catering/commercial food kitchens, and bakeries with on-site production.	P	P	P		
Bakeries (retail sales only) and wine shops (retail sales only).	P	P	P		
Fast food	—	—	—		

Recreation and Entertainment Including, but not limited to: fitness/recreation facilities, theaters, meeting halls and hotels	U	U	U	
Adult-oriented businesses	—	U*	—	
Business and Household Services Including, but not limited to: banks, financial institutions, real estate agencies, photocopy and printing, computer and electronics repair, shoe repair, watch repair, locksmiths, upholstery shops, picture framing, and animal grooming	P	P	P	
Animal care and boarding	U	U	U	
Child day care center	U	U	U	TMC 16-40.050
Mortuaries and funeral homes	U	U	U	
Medical and non-medical marijuana facilities	—	—	—	TMC 16-40.090
Automotive Services Including, but not limited to: gas stations, car washes and vehicle repair	U*	U*	U*	
Offices Including, but not limited to: business and professional offices, medical offices and clinics, laboratories, and opticians/optometrists	P*	P*	P*	
Residential Including, but not limited to: multi-family dwellings, transitional and supportive housing	p*	p*	p*	
Emergency shelters	P	P	P	TMC 16-40.060
Transportation Facilities Including, but not limited to: bus stations, ferry terminals, off-street parking facilities (commercial or public), and public electric vehicle charging facilities	U	U	U	
Communication Facilities Including, but not limited to: wireless telecommunication facilities, and radio, microwave and TV transmission facilities	U	U	U	TMC 16-42

(1) *Parcels with Required Commercial Frontage are shown on Figure .020 Zoning Districts & Street Frontages and regulated by Section.050.B Commercial Street Frontages.*

## .030 SITE PLANNING

### .030.A Site Standards

New subdivisions, land uses and structures, and alterations to existing land uses and structures, shall conform to the requirements in Table .030 Site Standards.

**Table .030 Site Standards**

<b>Standard</b>	<b>MS</b>	<b>MU</b>	<b>VC</b>
Lot Size, Minimum (square feet)	10,000		
Residential density, Maximum (dwelling units per acre)	25	35	15
Residential density, Minimum (dwelling units per acre)	20	30	10
Total Floor Area Ratio (F.A.R.), Maximum	1.50	1.75	0.28
Block Width, Maximum (1) (2)	200 feet		n/a

(1) Separation of Block Widths may be accomplished with a Paseo, Lanes, or Courtyard that extends at least 30 feet behind the Facade Plane.

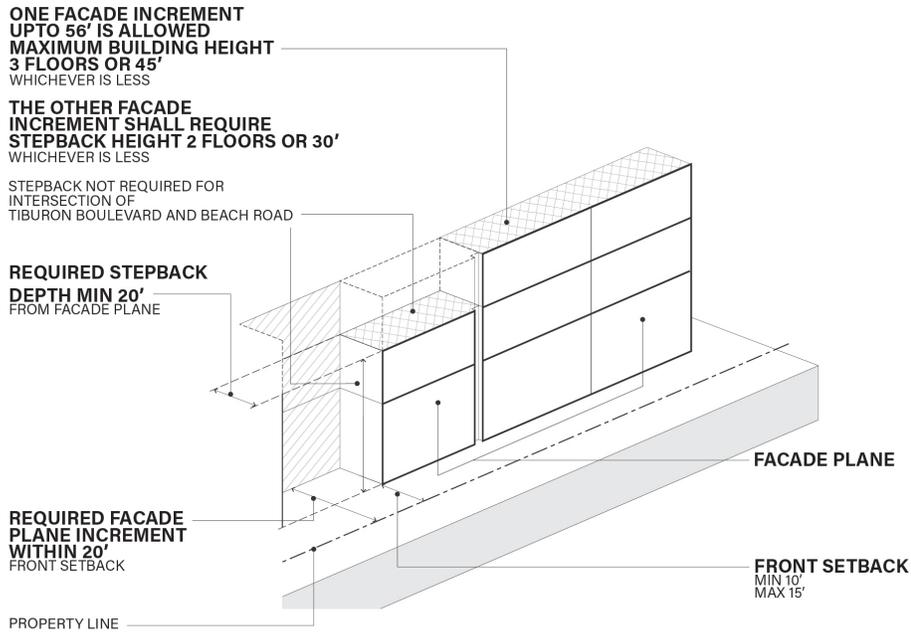
(2) For Block Width illustrated, see Figure .062 Block Size & Massing Increments

## .040 BUILDING ENVELOPE & PLACEMENT

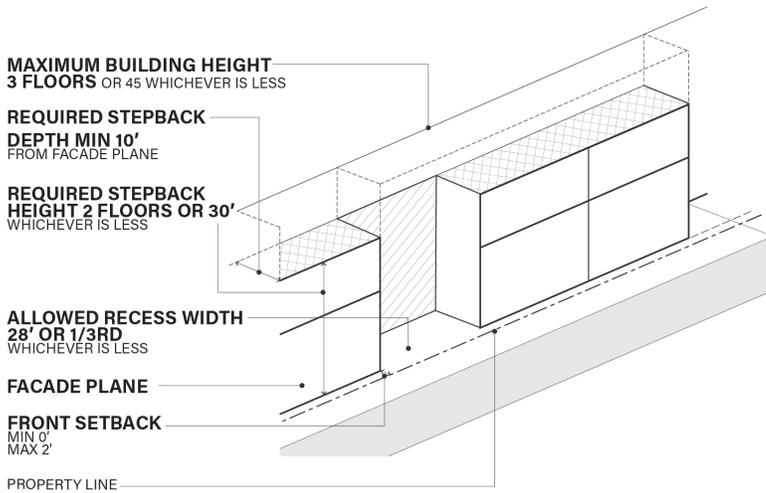
### .040.A Heights, Setbacks & Stepbacks

#### 1. Building Heights, Setbacks & Stepbacks

New structures and alterations to existing structures shall conform to the requirements in Table .040 Building Heights, Setbacks & Stepbacks, with height exceptions consistent with TMC Section 16-30.050D, and as illustrated in Figure .040 Setback Requirements for Mixed-Use & Main Street Districts. Construction in flood hazard zones shall conform to the requirements in TMC Section 13D.



**MIXED-USE DISTRICT: ALLOWABLE HEIGHT AND STEPBACK**



**MAIN STREET: ALLOWABLE HEIGHT STEPBACK**

**Figure .040 Setback Requirements for Mixed-Use & Main Street Districts**

**Table .040 Building Heights, Setbacks & Stepbacks**

<b>Standard</b>	<b>MS</b>	<b>MU</b>	<b>VC</b>	<b>Notes</b>
<b>Building Setbacks</b>				
Front Setback from Street Property Line				
Minimum	0 feet	10 feet	10 feet	(1)
Maximum	2 feet	15 feet	20 feet	(2)
Side Setback, Minimum	0 feet	5 feet	5 feet	
Rear Setback, Minimum	0 feet, except: 20 feet adjacent to R-zoned parcels, 10 feet adjacent to Juanita Lane ROW			
<b>Building Height Standards</b>				
Maximum Building Height	3 stories, up to 45 feet		2 stories, 30 feet	
Maximum Height within 60 feet of R-zoned property	2 stories, up to 35 feet		1 story, 20 feet	
Maximum Height with Commercial Frontage Height Bonus	n/a	4 stories, up to 55 feet	n/a	(3)
Minimum Building Height	25 feet			(4)
<b>Building Stepback Standards</b>				
Height above which requires Stepbacks	above 2 stories or 30 feet, whichever is less			
Minimum Depth of Required Stepback	10 feet	20 feet	20 feet	(5) (6) (7)

(1) When adjacent to street intersections, line-of-sight setback standards in TMC Section 16-30.050E also apply.

(2) Maximum setback requirements only apply to street-facing buildings used to conform with Section .050.A.1 Street Frontage Continuity.

(3) See Section .040.A.2 Commercial Street Frontage Height Bonus for requirements.

(4) Not applicable to accessory buildings or detached Accessory Dwelling Units.

(5) Standards illustrated in Figure .040 Setback Requirements for Mixed-Use & Main Street Districts.

(6) Measured from the front property line.

(7) Stepback requirements do not apply to building facades that: face the corner of Tiburon Blvd. & Beach Rd. in conformance with TMC 16-30.050.E Height Limit at Street Intersections, or to one Façade Increment within each Massing Unit (see Section .060.A Scale of Development).

## 2. Commercial Street Frontage Height Bonus

A height bonus is allowed for Commercial Frontage that is located immediately east or immediately west of the intersection of Tiburon Boulevard and Beach Road, consistent with Figure .020 Zoning Districts & Street Frontages and Section .050.B Commercial Street Frontages. A height bonus for inclusion of upper-story residential use (consistent with Table .040 Building Heights, Setbacks & Stepbacks) shall be granted for a portion of the building equal to the floor area of the ground-floor commercial floor area provided, but not more than 7,500 square feet. The height bonus floor area shall be built to a Façade Plan facing toward the intersection of and at a 45-degree angle diagonal to Tiburon Boulevard and Beach Road, as indicated on Figure .020 Zoning Districts & Street Frontages.

### .040.B Allowable Projections into Setbacks

#### 1. Allowable Projections into Setbacks

Specified building elements may project beyond the Facade Plane into Setbacks in accordance with Table .045 Allowable Projections into Setbacks. These requirements shall supersede TMC 16-30.F Allowed Projections into Setbacks. When located within the public right-of-way, subject to issuance of an Encroachment Permit per TMC Section 19-2. No building projection shall be less than 8 feet in height above a pedestrian path of travel.

**Table .045 Allowable Projections into Setbacks**

<b>Allowable Projection</b>	<b>Applicable Frontage Type</b>	<b>Maximum_Projection</b>
Arcade (1)	Commercial	12 feet
Awning (2)	Commercial or Residential	6 feet
Cornices (2)	Commercial or Residential	1 foot
Eaves (2)	Commercial or Residential	MS district: 1 foot MU & VC districts: 4 feet
Porches & Stoops (1)	Residential	6 feet (excluding stairs)
Stairs (1)	Commercial or Residential	up to property line
Balconies, Bay Windows (2)(3)	Residential	30 inches on upper floors only. May not exceed a width of 12 feet
Wall-Mounted Lighting & Planters (2)	Commercial or Residential	18 inches (at least 8 feet above grade)

(1) Not allowed within the public right-of-way.

(2) When located within the public right-of-way, subject to issuance of an Encroachment Permit per TMC Section 19-2.

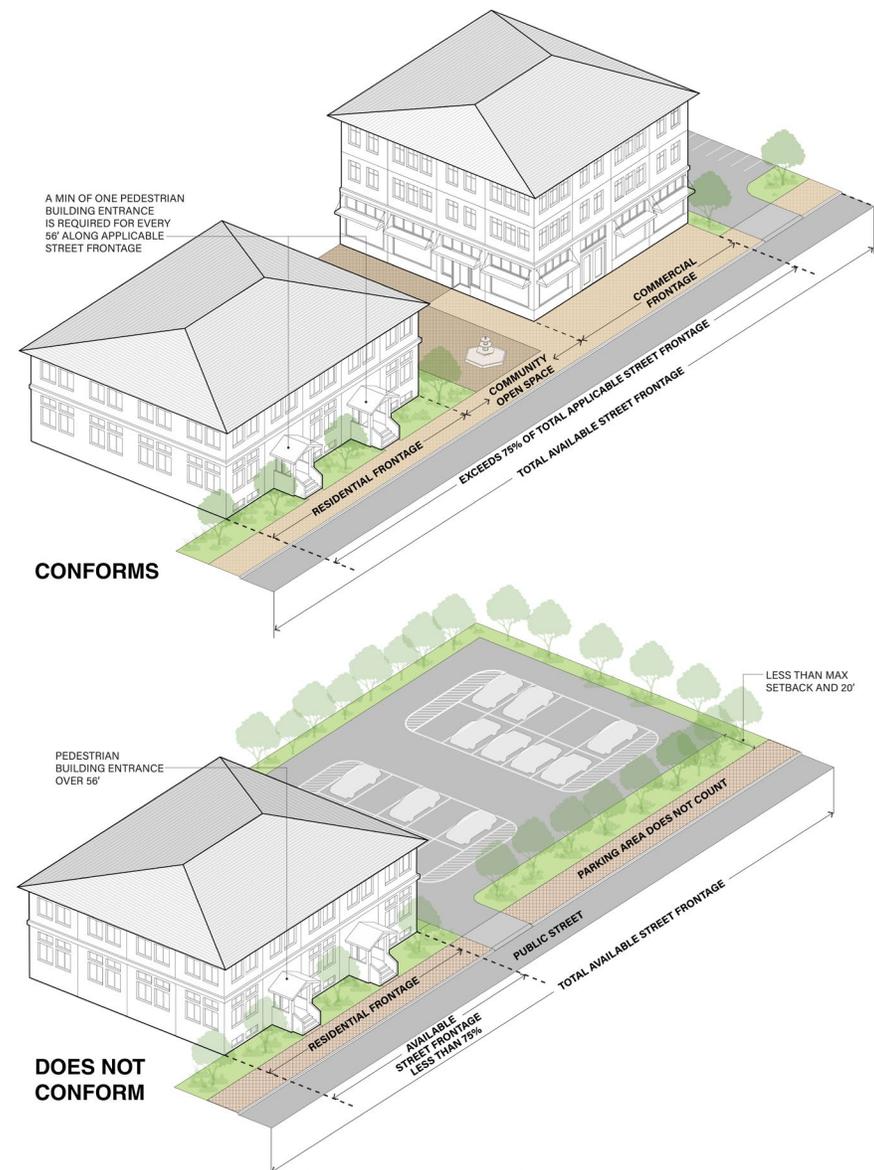
(3) Neighboring balconies and bay windows may not be closer than 4 feet in separation.

# .050 STREET FRONTAGES

## .050.A Relationship of Building to Street

### 1. Street Frontage Continuity

At least 75 percent of a parcel's total Available Street Frontage adjacent to a public right-of-way shall be occupied by Commercial Street Frontage, Residential Street Frontage, Community Open Space, or some combination of these, as defined in Section .050.B Commercial Street Frontage and .050.C Residential Street Frontage, and as illustrated in Figure .050 Street Frontage Continuity. Areas devoted to parking and service areas may not be used to meet this requirement.



**Figure .050  
Street  
Frontage  
Continuity**

## 2. Extent of Street Frontage

Street Frontages include features adjacent to property lines along a public street, including:

- the Façade Plane between finished grade and level of 2<sup>nd</sup> floor;
- the building use accessible at the ground level;
- the building setback, if any;
- that part of the public right-of-way between the curb and front property line;
- that part of the property that is within the front setback or 20 feet, whichever is greater, but where there is no building.

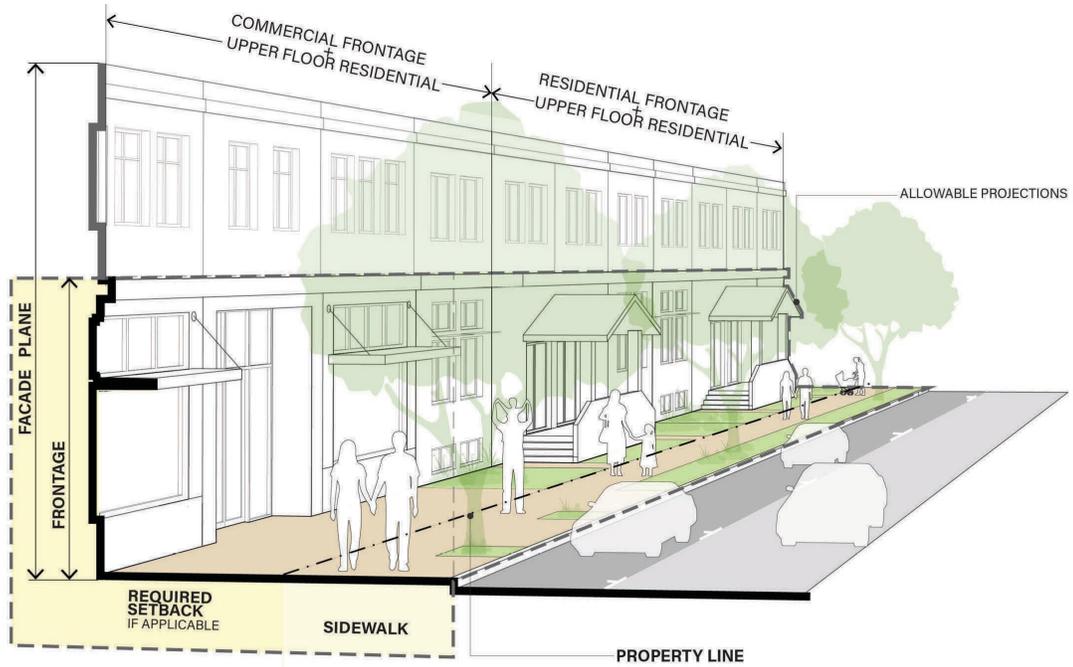
These features are further described in Figure .051 Commercial Street Frontage Illustrated, Figure .052 Residential Street Frontage Illustrated, and Figure .053 Mixed-Use Street Frontage Illustrated.



**Figure .051 Commercial Street Frontage Illustrated**



**Figure .052 Residential Street Frontage Illustrated**



**Figure .053 Mixed-Use Street Frontage Illustrated**

### 3. Building Entrance Location and Pedestrian Access

Sidewalks that lead to primary pedestrian building entrances shall connect directly to a public sidewalk, or connect indirectly to a public sidewalk via a private sidewalk that passes within Paseo, Courtyard, Corner Plaza, or Lane (see Section .070.C Community Open Space).

## .050.B Commercial Street Frontage

### 1. Required Commercial Street Frontages

Figure .020 Zoning Districts & Street Frontages indicates where Commercial Street Frontages are required, and where they are allowed but not required.

### 2. Required Commercial Frontage Allowable Uses

Storefronts shall be accompanied by a 1<sup>st</sup> floor space that is at least 25 feet deep and comprised by a use allowed consistent with Table .020 Allowed Land Uses and Permit Requirements for Commercial Zones.

Commercial uses are not otherwise allowed on the ground floor as part of Commercial Frontages, may be located on upper stories and/or behind a Storefront with at least 25' depth, Commercial Lobby, or Residential Vestibule.

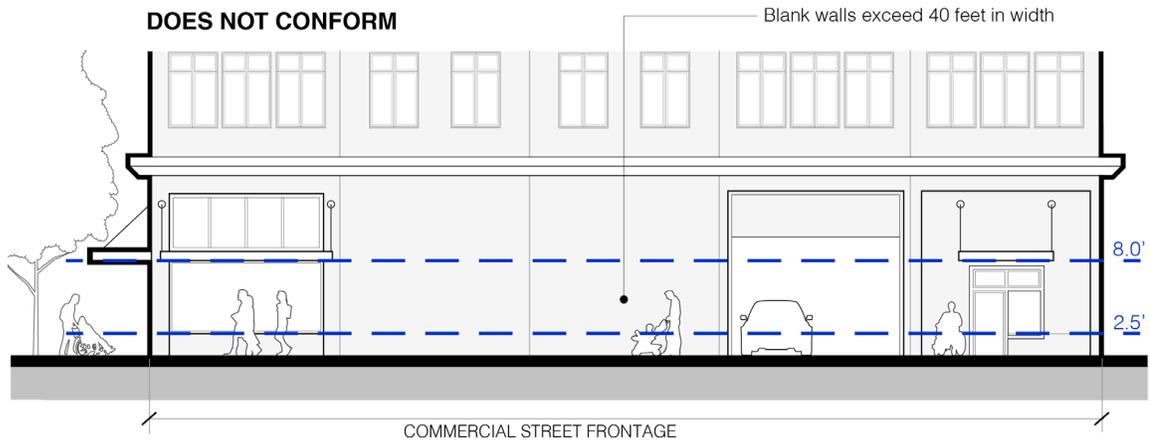
### 3. Commercial Street Frontage Design

Where Commercial Street Frontage is applied, ground-floor improvements shall be comprised of the following street frontage types for which figures provide standards:

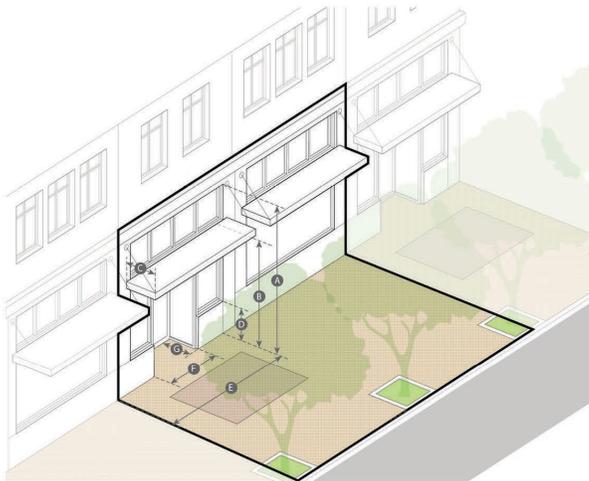
- a. Storefronts (Figure .054a);
- b. Arcades (Figure .054b);
- c. Commercial Lobbies (Figure .054c); and
- d. Residential Vestibules (Figure .055c).

### 4. Commercial Street Frontage Transparency

Along Commercial Street Frontages, at least 60 percent of the ground-floor area of a Façade Plan – as measured from 2.5 to 8 feet above finished grade – shall be comprised of windows and/or doorlites with clear unobscured glass (see Figure .056 Commercial Street Frontage Transparency).



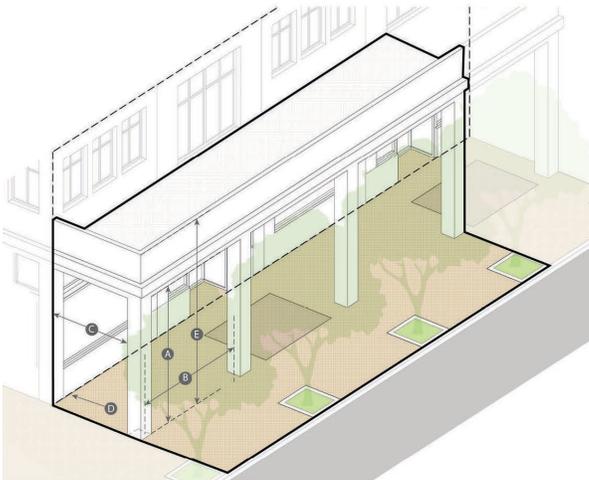
**Figure .056 Commercial Street Frontage Transparency**



**Figure .054a Storefronts**

**STOREFRONT TABLE**

Standards	Minimum	Maximum
A Interior Ceiling Height (from floor)	14'	no max.
B Height to Awning/ Canopy (from finished grade)	8'	10'
C Awning/ Canopy Depth (projection)	4'	6'
D Height of Stemwall (from finished grade)	1.5'	3'
E Width of Enframed Bay (between entry and facade)	12'	20'
F Width of Entryway (between walls)	4'	8'
G Depth of Entryway / Door Recess (clear)	3'	4'

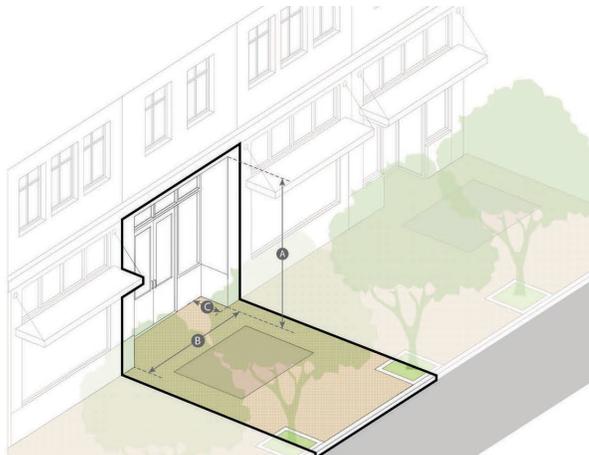


**Figure .054b Arcades**

**ARCADE TABLE**

Standards	Minimum	Maximum
A Arcade Ceiling Height (from floor)	14'	18'
B Column Spacing (from centers)	12'	20'
C Arcade Depth (façade plane to column)	9'	12'
D Facade Plane		
E Arcade Height Till Top of Railing (from floor)		22'

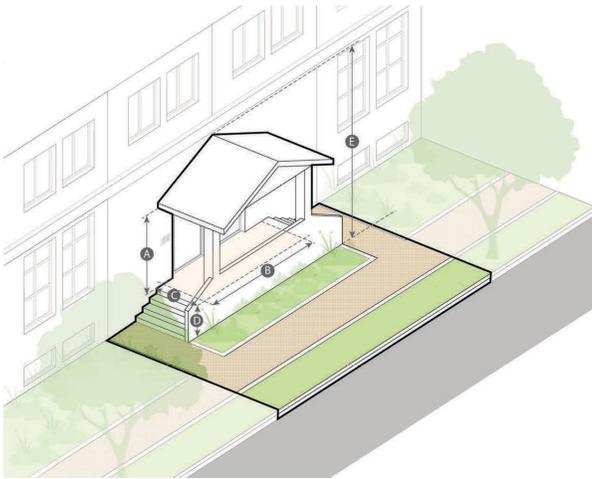
Facade Plane shall conform with Frontage requirements for Storefronts, Lobbies, and/or Vestibules.



**Figure .054c Commercial Lobbies**

**COMMERCIAL LOBBY TABLE**

Standards	Minimum	Maximum
A Interior Ceiling Height (from floor)	10'	no max.
B Width of Entryway (between walls)	4'	12'
C Depth of Entryway / Door Recess (clear)	3'	4'



**Figure .055a Porches**

**PORCH TABLE**

Standards	Minimum	Maximum
A Ceiling Height (from floor)	8'	10'
B Floor Width (clear, excluding stairs)	8'	12'
C Floor Depth (clear, excluding stairs)	5'	6'
D Floor Height (above finished grade)	0'	3'
E Porch Height (above finished grade)	15'	18'

**Additional Requirements :**

Enclose porch by solid walls or open work railings but not more than 3.5 feet above floor, except where stairs or building are present.

A porch shall have flat, hipped, or gabled roof.

Two porches may be attached, but not three.

Porches that are not attached shall be separated at least 4 feet.

A porch or attached porches may wrap around building corners.

If stair access is parallel to sidewalk, then landscaping shall be provided between porch and sidewalk.



**Figure .055b Stoops**

**STOOP TABLE**

Standards	Minimum	Maximum
A Ceiling Height (from floor)	8'	10'
B Floor Width (clear, excluding stairs)	5'	6'
C Floor Depth (clear, excluding stairs and walls)	5'	6'
D Floor Height (above finished grade)	0'	3'

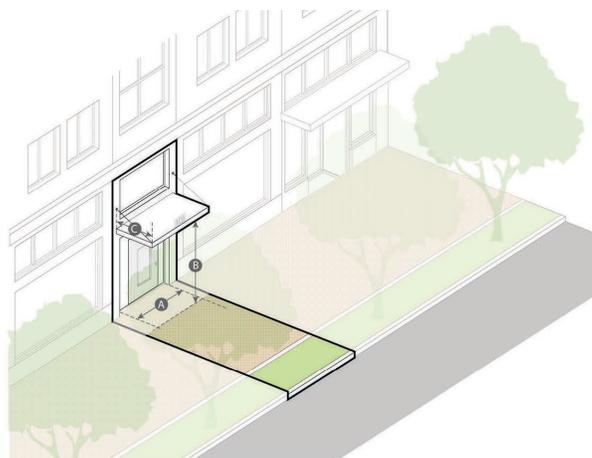
**Additional Requirements :**

Enclose stoop by solid walls or open work railings but not more than 3.5 feet above floor, except where stairs or building are present.

A stoop shall have flat, hipped, or gabled roof, or rigid canopy.

Stoop walls shall be separated by at least 4 feet.

If stair access is parallel to sidewalk, landscaping shall be provided between the stoop and sidewalk.



**Figure .055c Residential Vestibules**

**VESTIBULE TABLE (applicable to all districts)**

Standards	Minimum	Maximum
A Entrance Door Width	3'	6'
B Height to Roof/Canopy/Awning (from floor level)	8'	10'
C Depth of Roof or Rigid Awning	4'	6'

**Additional Requirements :**

Vestibule shall have flat roof or rigid canopy.

Side window or window in door required.

## .050.C Residential Street Frontage

### 1. Required Residential Street Frontage

Figure .020 Zoning Districts & Street Frontages indicates where Residential Street Frontages are required. Residential Street Frontages are allowed along street edges, except where Commercial Street Frontages are required.

### 2. Residential Street Frontage Allowable Uses

Ground floor uses that are allowed with Residential Frontages include:

- a. multifamily dwellings;
- b. home occupation;
- c. intermediate or community care facility;
- d. transitional/supportive housing; and childcare.

Single-family and two-family dwellings are not allowed.

### 3. Residential Street Frontage Design

Where Residential Street Frontage is applied, ground-floor improvements shall be comprised of the following street frontage types for which figures provide standards:

- a. Porches (Figure .055a);
- b. Stoops (Figure .056b); and
- c. Residential Vestibules (Figure .056c).

### 4. Residential Street Frontage Transparency

Window openings and/or door openings, inclusive of inset frames, shall comprise at least 25 percent of the width of a Façade Plane along the ground floor of a Residential Street Frontage.

## .050.D Community Open Space Street Frontage

### 1. Open Space Design & Programming

Street Frontage may be comprised of Community Open Space. See Section .070.F Community Open Space for requirements.

## .050.E Site Access & Service Areas.

### 1. Site Access Location & Design

Off-street lanes, alleys, and parking areas shall connect to a public right-of-way by access driveways and comply with the following design standards:

- a. The paved width of driveways in a front building setback shall not exceed 20 feet.
- b. A stop sign or other stop marking that is in clear view of exiting motorists shall be placed where exiting cars cross public sidewalks or other pedestrian paths or travel.
- c. From a point that is 5 feet or more from a sidewalk, an exiting motorist shall have an uninterrupted line of sight to the sidewalk at a 45-degree angle from straight ahead and in both directions.
- d. Driveways that cross public sidewalks shall be at the same level as the sidewalk.

### 2. Loading

Off-street loading spaces shall be subject to TMC Section 16-32.090.

### 3. Vehicle Entry Gates

Vehicle entry gates shall conform with TMC Section 16-30.030(H) Vehicle Entry Gates, except to require that vehicle entry gates be setback behind the Facade Plane or at least 20 feet from any public sidewalk, whichever is greater.

### 4. Service Area Location & Screening

Service entrances, waste disposal areas, and other similar service areas shall not be located within the front setback or between a building and the street right-of-way or public open space. For project sites greater than one acre, service areas shall be located:

- a. behind street-facing buildings;
- b. enclosed within a building envelope;
- c. screened from view of public sidewalk(s) with a solid wall or fence at least four (4) feet in height, and/or
- d. screened from view of public sidewalk(s) by shrubs that are or can be expected to grow to four (4) feet in height.

## 5. Ground-Level Utility Boxes & Equipment

Ground-level utility boxes and equipment, including but not limited to back-flow preventers, air conditioner units, transformer boxes, gas and electric meters, generators and other utilities shall not be located within the front setback of a project or between a street-facing building and a public street right-of-way. If this is determined to be technically infeasible by a qualified engineer, ground-level utility boxes and equipment may be located in the front setback but shall be screened from all direct sight lines from public sidewalks by shrubs that can be expected to grow to the same height as the box or equipment.

## .060 BUILDING SCALE & DESIGN

### .060.A Scale of Development

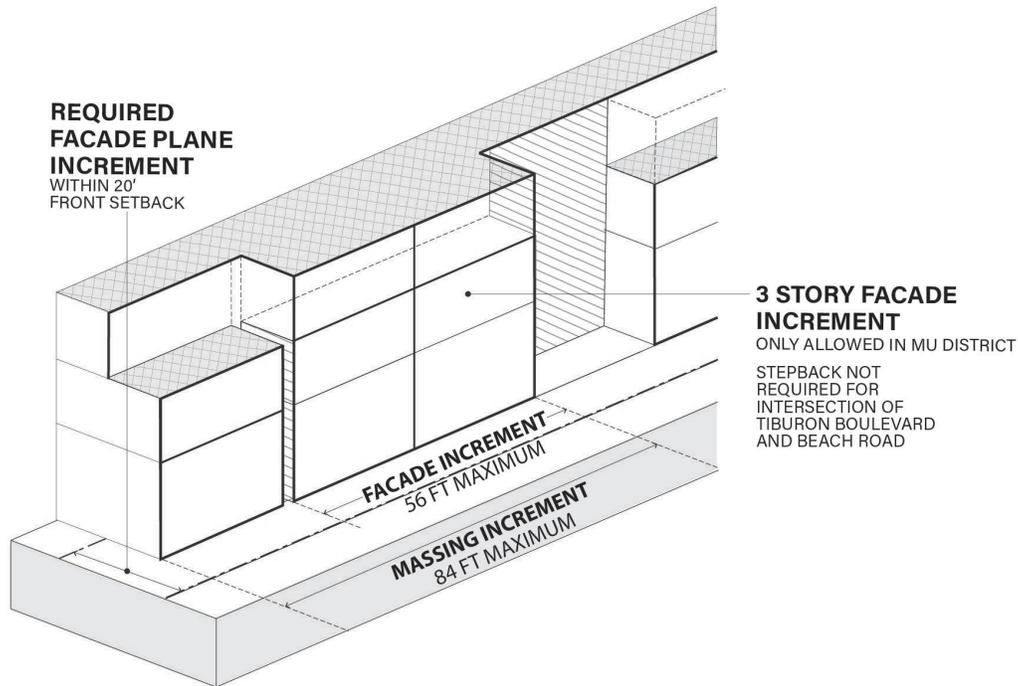
Massing Increment and Façade Increment standards regulate the horizontal scale of building architecture parallel with streets. These horizontal increments complement limitations on vertical height and stepback requirements.

#### 1. Massing Increments

The width of any portion of a Façade Plane facing a street and within 20 feet of the street right-of-way shall not exceed 84 feet, as illustrated in Figure .060 Massing Increments & Façade Increments.

On parcels that are greater than one acre, adjacent Massing Increments shall be separated by a recess in the Façade Plane that is at least 12 feet wide and 10 feet deep, as illustrated in Figure .062 Block Width & Massing Increments.

The height of the street-facing building façade closest to a public street shall be limited vertically by required stepbacks above the second floor, as described and illustrated in Figure .040 Setback Requirements for Mixed-Use & Main Street Districts.



**Figure .060 Massing Increments & Façade Increments**

## 2. Façade Increments

Façade Increments shall not exceed 56 feet. In addition, adjacent Façade Increments shall differentiate architectural expression with at least three of the following:

- a. vary exterior finish material of the Façade Plane from among wood, stucco, metal, and cementitious materials;
- b. vary exterior finish texture from among shingles, board-and-batten, shiplap, panels, and uninterrupted planes;
- c. vary at least two types of projections, including bay windows, balconies, awnings, porch, stoop, cornice, and eaves.
- d. vary at least two types of openings, including window grouping pattern, window muntin pattern, door type, lintels, and arcades.
- e. vary hue of the color of the building façade by at least 30 degrees within a 360-degree color wheel; and/or
- f. vary grey value of the color of the building façade by at least 20 percent within a 100 percent grey scale.

Adjacent Façade Increments shall also be separated by at least one of the following vertical features:

- a. a vertical metal reinforced control joint or expansion joint creating a gap that is at least 1-inch in width;

- b. a metal downspout (minimum 28 gauge metal) that extends from roof to ground, except to avoid cornices and eaves; and/or
- c. a vertical recess between façade increments with a minimum width and depth of at least 6 inches and with a rear surface having a dark grey value of least 50 percent.

In the Mixed Use district, adjacent Façade Increments shall vary the height of the Façade Plane by at least 10 feet (see Table .040 Building Heights, Setbacks & Stepbacks). The lower Façade Increment height shall be accompanied by a stepback depth consistent with Table .040 Building Heights, Setbacks & Stepbacks.

### 3. Facade Plane

At least two-thirds of the area of a Façade Increment that faces a street or public open space shall be in the same street-facing plane, which shall comprise a Facade Plane. Each Facade Plane shall be comprised of a single exterior finish if when ground-floor land use and upper-story land use are the same. When the ground-floor land use and upper-story land use are different, then one or two exterior finishes may be applied. When two exterior finishes are applied, the finishes shall be separated along upper interior edge of a cornice that extends at least six inches in front of the Facade Plane and with a cornice height of at least one foot.

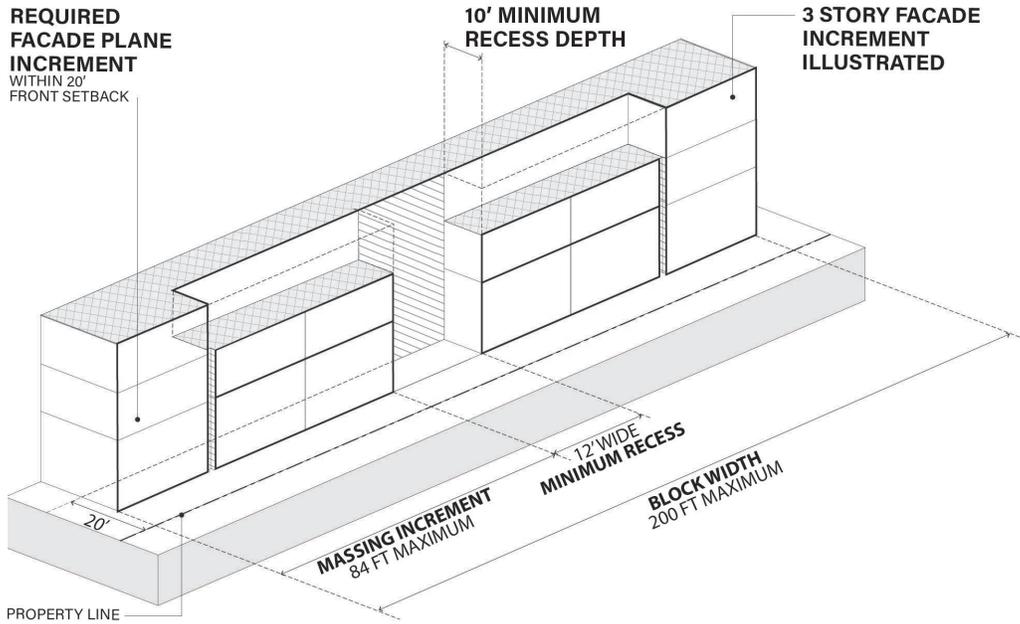
### 4. Block Width

Block Width requirements further limit the horizontal scale of buildings facing streets (see Table .030 Site Standards and Figure .062 Block Width & Massing Increments).

## .060.B Exterior Finish Materials

### 1. Exterior Materials

Allowable exterior building materials are set forth in Table .060 Allowable Materials. Materials not allowed include vinyl and aluminum products, including those intended to simulate wood, and rough sawn wood. Concrete block is not allowed, unless concealed by allowable materials listed below.



**ALLOWABLE WIDTH OF BLOCK, MASSING INCREMENT, AND RECESS BETWEEN MASSING INCREMENTS**  
 MASSING INCREMENT SHALL BE LIMITED IN HORIZONTAL WIDTH, AND SEPARATED BY A MINIMUM RECESS  
 APPLICABLE ONLY TO MU DISTRICT

**Figure .062 Block Width & Massing Increments**

**Table .060 Allowable Materials**

Exterior Material	MS	MU	VC
Wood	Allowed		
Stucco, metal, fiber cement panels	Allowed		Not allowed
Building base: concrete & brick, up to one story in height	Not allowed	Allowed	Not allowed
Building base: stone, up to four feet above grade			

2. Materials at Corners

Veneers and other surface applications shall not be discernable. Materials shall be continued horizontally around the entirety of allowable projections and at visible exterior building corners. Materials shall extend around the corner at least eight (8) feet or whatever depth the material remains visible. The edge of wood finishes shall be concealed at exterior corners by corner boards.

### 3. Wood

Exterior application of wood shall be comprised of one of the following:

- a. wood modules comprised of lap siding, vertical plank siding, horizontal plank siding, or shingles; or
- b. exterior plywood with battens to cover joints and horizontally spaced not less than 2 feet on center.

### 4. Stucco and Concrete

For exterior application of stucco and concrete, a horizontal expansion joint or control joint shall be placed at the level of each floor and roof, and a vertical expansion joint shall occur at least every fourteen feet. For stucco, expansion and control joints shall be reinforced with metal.

### 5. Metal

Metal panels and metalwork may be used but shall be non-reflective and shall not produce glare. Metal pieces, panels, fasteners and detailing shall be resistant to corrosion.

### 6. Brick and Stone

If brick and stone are used around building opening, a soldier course or lintel shall be incorporated, which is above the opening and at least 8 inches tall.

### 7. Façade Color

For building facades that can be seen from a street or public open space, pastel color finishes are not allowed, such that if not white, the color hue shall contain at least 10% grey.

## .060.C Windows

### 1. Window Type

Operable windows shall be limited to double-hung, awning, or casement type windows. Horizontal sliding and hopper windows are prohibited.

### 2. Operable Windows

Rooms with exterior windows shall include one or more operable windows, except where exclusive use of fixed windows are needed to mitigate excessive noise or air quality impacts.

### 3. Window Materials

Solid wood or steel sash windows are required. Hollow window sections are not allowed.

### 4. Mullions

Mullions may not be behind glass, such as within double glazed windows, but must project beyond the exterior of the glass surface.

### 5. Clear Glass

Except for bathroom windows, exterior glass shall be clear in appearance having at least 90 percent light transmission within the visible spectrum, and shall not be mirrored, frosted, or opaque.

### 6. Recessed Glass

Window glass shall be recessed at least 2 inches behind Facade Plane.

### 7. Wood Trim

Where a Facade Plane is surfaced with wood, then windows shall be framed by wood.

### 8. Privacy

Within the same development project, facing windows shall at least include one of the following:

- a. separated horizontally by at least 20 feet,
- b. offset horizontally by at least 10 degrees perpendicular to window plane,
- c. have an interior sill height that is at least 48 inches above floor; or
- d. use obscured glass.

## .070 OPEN SPACE

### .070.A Private & Semi-Private Open Space

#### 1. Open Space for Residents' Use

Residential development projects shall provide usable open space for the private and shared use of its residents and their guests in accordance with Table .061 Usable Open Space Required Per Dwelling Unit. Required useable open space may be met using a combination of privately accessible open space (Section .060.A.2) and shared semi-private open space (Section .060.A.3).

**Table .061 Usable Open Space Required Per Dwelling Unit**

<b>Dwelling Size</b>	<b>Minimum<sup>1</sup></b>
Efficiency or Studio	150 square feet
One Bedroom	200 square feet
Two Bedroom	250 square feet
Three or More Bedrooms	300 square feet

#### 2. Private Open Space

Each dwelling unit shall include at least 40 square feet of private open space. Usable private open space includes: balconies at least 2 feet deep; or covered porches, covered stoops, fenced decks, or fenced yards, which are at least 6 feet clear in all directions.

#### 3. Semi-Private Open Space

Residential development projects shall include shared semi-private open space for the use of building residents and their guests, except for townhouse dwelling units which may use private open space to meet all or part of Open Space for Residents' Use requirements. Semi-private open space(s) shall have an area that is not less than 100 square feet per dwelling unit.

Semi-private open space may include shared community gardens, lawns, roof terraces, play areas, community rooms, reading rooms, and recreation centers. Community rooms, reading rooms, and recreation centers may be enclosed. These spaces shall have a clear dimension of at least 25 feet in each direction.

<sup>1</sup> Overall amounts of open space are the same as existing standards, except that part of the open space is shared if multifamily.

Semi-private open space may be provided adjacent to Paseos but only the usable portions, exclusive of the areas devoted to pedestrian circulation and landscape buffers next to dwelling units, may count towards the minimum square footage standards. Semi-private open space requirements may also constitute portions of Courtyards that are accessible to the public (see Section .060.C Community Open Space).

## .070.B Public & Publicly-Accessible Open Space

### 1. Improvements to Public Sidewalks

Development projects shall make improvements to adjacent public sidewalks. Street frontage improvements shall include all of the following:

- a. a continuous path for pedestrian travel shall be provided along sidewalks and shall have an unobstructed width of at least six feet;
- b. street trees shall be planted along sidewalks between two and four feet from curb, shall be spaced not less than 30 feet on center, but not within 40 feet of a public street intersection;
- c. street trees shall be selected from a list of acceptable species provided by the Town;
- d. where adjacent to a Commercial Street Frontage, each street tree shall be accompanied by a tree well that is between four and eight feet wide, and the sidewalk shall extend to the curb where tree wells are not present;
- e. where adjacent to a Residential Street Frontage, street trees shall be accompanied by a landscape strip behind the curb that is between four and eight feet wide. The landscape strip shall be continuous except allow sidewalk access to parked vehicles or curbside drop off;
- f. street lighting shall be installed in line with street trees, shall not exceed a height of 18 feet, and shall have light fixtures (luminaires) and light pole base plates consistent with specifications provided by the Town;
- g. along Commercial Frontages bicycle racks shall be installed consistent with Section .090.C Bicycle Parking, and shall be consistent with specifications provided by the Town.

The Town Engineer may waive requirements that are in this section if they are deemed unnecessary or infeasible. A determination of feasibility may be received prior to submitting an application for development, by submitting utility and/or circulation information prepared by qualified professional(s) to the City Engineer.

## 2. Privately-Owned Public Open Space

For development projects with forty or more dwelling units, at least one Privately-Owned Public Open Space shall be provided, which shall be maintained by the property owner and shall remain accessible to the public. Each Privately-Owned Public Open Space shall have a minimum clear dimension in each direction of at least 30 feet and a minimum site area that is not less than the sum of 30 square feet per dwelling unit, plus 1 square foot per 20 square feet of commercial floor area, but not less than a total of 1,200 square feet.

A Privately-Owned Public Open Space shall be designed as either a Courtyard or Corner Plaza (see Section .060.C Community Open Space).

[OPTIONAL] In lieu of providing open spaces required by this Section, an applicant may pay an in-lieu fee to help fund design and construction of pedestrian amenities and enhanced landscaping beyond what is otherwise required of development, in the vicinity of the project within the Downtown District. In-lieu fees may not be paid for open space minimums described in Section .060.A Private & Semi-Private Open Space. In-lieu fees paid by applicants will be gathered by the Town and applied by the Town to public street improvements determined by the Town.

## .070.C Community Open Space

### 1. Courtyards

Courtyards shall be used to separate Blocks required by Section .030.A Site Standards and shall meet all of the following design requirements:

- a. have a minimum site area on private property of at least 1,200 square feet;
- b. have a minimum width of at least thirty feet;
- c. have one side of the Courtyard's frontage open to a public street;
- d. be accessible to the public directly from the adjacent street right-of-way;
- e. include fixed seating in the form of benches and/or seat walls, with at least 1 seat (18 inches in width) per 100 square feet of Courtyard site area;
- f. have not less than 50 percent of the perimeter enclosed by building(s);
- g. the ground-floor of buildings adjacent to a Lane shall conform to transparency requirements in Section .050.B.4 and/or Section .050.C.4; and
- h. have landscaped areas comprising not less than 25 percent of the Courtyard site area.

## 2. Corner Plazas

Corner Plazas are allowed at street intersections, and shall meet all the following design requirements:

- a. be open and accessible on two sides to public streets, and in conformance with TMC 16-30.050.E Height Limit at Street Intersections;
- b. have a minimum of 1,200 square feet of site area on private property
- c. have a minimum width of at least thirty (30) feet;
- d. include fixed seating in the form of benches and/or seat walls, with at least 1 seat per 100 square feet of plaza site area.
- e. have not less than 50 percent of perimeter of plaza enclosed by building(s);
- f. the ground-floor of buildings adjacent to a Corner Plaza shall conform to Section .050.B Commercial Street Frontages and/or Section .050.C Residential Street Frontage; and
- g. have landscaped areas comprising not less than 25 percent of the plaza's site area.

## 3. Paseos

Paseos are linear landscape passages for pedestrian movement that extend in from streets and may link to other paseos. Paseos may be enclosed on buildings on one or both sides. Paseos may be used to provide a required connection from building entrances to a street (see Section .050.A.3 Building Entrance Locations). Paseos shall meet all of the following design requirements:

- a. access to the Paseo may occur directly at a street or may be via a Courtyard or Corner Plaza;
- b. shall be accessible to the public within forty feet of a street right-of-way, after which a gate may restrict public access;
- c. shall be not less than twenty-five feet in width;
- d. the Paseo shall have a shared sidewalk that connects end points and with a width of at least five (5) feet;
- e. have landscaped areas comprising not less than 50 percent of the area of the Paseo;
- f. the ground-floor of buildings adjacent to a Paseo shall conform to transparency requirements in Section .050.B.4 and/or Section .050.C.4; and
- g. may include shared semi-private open space (see Section .070.A.3 Shared Semi-Private Open Space).

Building projections are allowed to project into Paseos (see Section .040.B.1 Allowable Building Projections into Setbacks).

#### 4. Lanes

Lanes are private roadways with space dedicated to both vehicles and pedestrians. Lanes shall meet all of the following design requirements:

- a. access to a Lane shall be directly from a public street;
- b. Lanes shall be accessible to the public within forty feet of a front property line, after which a gate may restrict public access;
- c. a shared sidewalk shall be provided where there are principal building entrances and shall connect to a public sidewalk or internal sidewalk network;
- d. sidewalks shall be placed adjacent to the curb or separated from the curb with a planting strip that is at least 3 feet wide;
- e. Lanes shall have a drive aisle plus parking on one, both or no sides;
- f. the combined paved width of a Lane, including the drive aisle and parking, shall be at least 20 feet and not exceed 42 feet;
- g. where parking is present along the Lane, parking and aisle dimensions shall conform to TMC Section 16-32.080 Parking Design & Development Standards, except that aisle dimension shall be interpreted to include driveways that provide additional room for maneuvering vehicles;
- h. pavement along Lanes shall be comprised of asphalt, concrete, and/or permeable pavers;
- i. space for vehicles shall be delineated by curbs and/or bollards; and
- j. the ground-floor of buildings adjacent to a Lane shall conform to transparency requirements in Section .050.B.4 and/or Section .050.C.4.

#### 5. Juanita Lane (Public R.O.W.)

Development projects adjacent to the Juanita Lane public right-of-way shall provide a mountable curb and adjacent sidewalk not less than five feet in width. If new development fronts onto Juanita Lane, then Residential Street Frontage standards shall apply.

#### 6. Alleys

Alleys may be used to provide vehicular access on-site without pedestrian circulation. Alleys shall meet all of the following design requirements:

- a. Alleys shall have a drive aisle that is at least 24 feet wide;
- b. where parking is present along the Alley, parking and aisle dimensions shall conform to TMC Section 16-32.080 Parking Design & Development

Standards, except that aisle dimension shall be interpreted to include driveways that provide additional room for maneuvering vehicles;

- c. pavement along Lanes shall be comprised of asphalt, concrete, and/or permeable pavers; and
- d. space for vehicles shall be delineated by curbs and/or bollards.

## .080 LANDSCAPE DESIGN

### .080.A Vegetation

#### 1. Landscaped Setbacks

Setback areas shall be landscaped except for sidewalks necessary for pedestrian access and vehicular access consistent with Section .050.E Site Access & Service Areas and Section .070.C.4 Lanes. Landscaping shall be comprised of trees, shrubs and groundcover shall be selected from lists provided by the Town.

### .080.B Hardscape

#### 1. Brick Pavers

Along Tiburon Boulevard and along Main Street in the Main Street district (but not Ark Row), sidewalks shall match the use and pattern of brick pavers used. In Courtyards and Corner Plazas the same use and pattern of brick pavers shall be used as hard scape except for concrete edges two (2) feet or less in width.

### .080.C Fences & Walls

#### 1. Fence & Wall Requirements

Section 16-30.040.B. Height Limits shall apply.

#### 2. Fence & Wall Height

Within the setback between a building and street (or public open space), no fence or wall shall exceed a height of forty-two (42) inches above finished grade.

#### 3. Fence & Wall Materials

The following fence materials are allowed:

- a. wood picket,

- b. wood board,
- c. metal bar,
- d. open wood or metal frame with coated or uncoated metal wire,
- e. stone and brick, or
- f. cast in place concrete.

Fence materials which are not allowed include:

- a. chain link,
- b. corrugated metal,
- c. plastic and other synthetic materials, and
- d. Concrete block, unless faced with stucco or other approved materials in Table .060 Allowed Materials.

## .080.D On-Site Lighting

### 1. Lighting for Parking & Open Space Areas

Lighting shall conform with TMC Section 16-30.070. The following standards also apply:

- a. pole-mounted lighting fixtures shall not exceed a height of 16 feet;
- b. within four feet of a building entryway, at least one wall-mounted exterior light fixture shall be provided; and
- c. exterior lighting shall not cast direct light beyond the side and rear property lines, based on lighting location, height, and fixture light-angle specifications.

## .090 P A R K I N G

### .090.A N u m b e r o f P a r k i n g S p a c e s R e q u i r e d

On-site parking for vehicles shall conform with TMC Section 16-32.040.

### .090.B P a r k i n g D e s i g n S t a n d a r d s

On-site parking for vehicles shall conform with TMC Section 16-32.080, except that:

- a. parking shall be located in conformance with Section .050.A.1 Street Frontage Continuity;

- b. no surface parking shall be allowed within 20 feet of a street-facing property line;
- c. a wall or fence shall screen parking stalls where they would otherwise be in direct view of a public sidewalk, with a wall or fence height of between 36 and 42 inches above finished grade;
- d. within surface parking lots, plant at least 1 trees for every 6 parking stalls;
- e. parking lots shall be separated from property line by a landscape strip that is no less than 5 feet wide;
- f. mechanical parking lifts shall be allowed within an enclosed garage when designated for use by residents, except for parking designated for use by persons with disabilities;
- g. mechanical lifts shall be accompanied by an on-site battery or electrical generator to provide sufficient power to clear the lift of all vehicles, or shall be capable of manually clearing the lift without power;
- h. a pair of tandem parking spaces shall be allowed when designated for use by members of the same household/dwelling unit.

#### .090.C Bicycle Parking

Bicycle parking shall be provided in conformance with TMC Section 16-32.040. Additionally, at least one half of the bicycle parking for commercial uses shall be provided in publicly-accessible locations, such as along public sidewalks, street-facing setbacks, and publicly-accessible open space. The remainder of bicycle parking that is required shall be provided on-site in covered and secure locations.

## .100 DEFINITIONS

For Downtown Districts, definitions in this section shall apply.

### **A**

**Service, Access.** A driveway or other travel way used by vehicles to approach and gain entry for purposes of building or site maintenance or operations.

**Accessory Building.** See TMC Section 100.020. Accessory buildings shall be detached and include: carports, garages (but not parking structures), workshops and work studios, greenhouses, cabanas and pool houses, and storage sheds.

**Accessory Dwelling Units.** See TMC Section 16-52.100.

**Alley.** See TMC Section 16-52.100. Alleys provide access for service vehicles and parking garages. Alleys are not designed for pedestrians.

**Applicant.** See TMC Section 16-52.100.

**Arcade.** A ground-floor colonnade that supports a shed roof or deck that covers the sidewalk, intended to provide shade and weather protection.

**Awning.** A canopy made of canvas or rigid membrane, which projects from the exterior wall of a building, and helps to shade or shelter a window and/or door.

### **B**

**Bay.** A horizontal module related to buildings, usually between two nearest piers or other vertical supports.

**Bay, Storefront.** See Storefront Bay.

**Bay Window.** A window or group of windows that project from the main volume of a building.

**Block.** A building or attached buildings that are large enough to have four building facades: two facing outward (such as toward a street or paseo), and two facing inward (such as towards a private courtyard). A block is separated from other blocks by streets or other open areas.

**Building.** See TMC Section 16-52.100.

**Building Code.** See TMC Section 16-52.100.

**Building Height.** See “Height, Building.”

**Building Envelope.** See TMC Section 16-52.100.

**Building Plane, Principal.** The wall plane with the largest contiguous surface area, and free from wall planes at angles or offset from that plane. Facade Planes of interest face public streets and common open space with pedestrian activity, and not parking lots, side yards, or rear yards.

## C

**Community Garden.** Shared open space used by a set of individual residents for the cultivation of vegetables and/or fruit.

**Community Open Space.** See “Open Space, Community.”

**Corner Plaza.** A privately-owned publicly-accessible open space that can be used by the public and is located adjacent to a street corner. Corner plazas are abutted by buildings on at least one side. Corner plazas may be used where the height of features is limited near intersections.

**Courtyard.** A privately-owned publicly-accessible open space that can be used by the public and is next to a street and located midblock. Courtyards are abutted by buildings on at least two sides. Corner plazas may be used to separate blocks..

**Curb cut.** A break in a vertical curb where there is a short ramp. A curb cut is generally where a driveway meets a public roadway.

**Conditional Use.** See TMC Section 16-52.100.

**Cornice.** A horizontal projection on the exterior of a building, typically to crown the top of a building or to delineate a commercial ground floor from upper stories.

## D

**Density.** See TMC Section 16-52.100.

**Depth.** See TMC Section 16-52.100.

**Drive, Access.** A private right of way primarily intended as vehicular access to on-site parking or loading.

**Drive, Service.** An access drive for the exclusive use of service vehicles.

**Driveway.** See TMC Section 16-52.100, except that the part of a driveway that extends to the curb line of a street shall also apply.

**Dwelling Unit.** Dwelling unit means one or more rooms with internal access between all rooms with living facilities for at least one household, including space for sleeping, eating, bathing, sanitary facilities, and cooking facilities that have a sink, refrigerator, storage, stove, and convection oven.

**Dwelling Unit, Townhouse.** Townhouse dwelling units are among a set of three or more dwellings attached side-by-side single-family units.

**Dwelling Unit, Multifamily.** Multifamily dwelling units are a set of three or more dwellings that are attached side-by-side and stacked vertically.

## E

**Encroachment.** The part of a building that extends into beyond a property line and into a public right-of-way or other public property.

**Entrance, Principal Building.** An entryway used for regular coming and going from buildings, and not used or only incidentally used for loading or service activities. If more than one entrance serves the same interior space, then the principal building entrance shall be the one that connects most directly via a pedestrian sidewalk to a public street.

**Entryway.** A point of pedestrian ingress and egress to the front of a building connecting to a sidewalk.

## F

**Façade.** The exterior wall of a building along with its associated windows, entryways, and projections..

**Façade Increment.** See "Increment, Façade."

**Fence.** See TMC Section 16-52.100.

**Floor Area.** As defined in TMC Section 16-52.100, except that gross floor area shall not include the entire floor area of parking garages and carports.

**Floor Area Ratio.** As defined in TMC Section 16-52.100, except that the definition of floor area ratio for commercial uses, shall also apply to residential and community uses.

**Footprint, Building.** The site area occupied by a building without respect to a building's height.

**Frontage.** - A frontage describes key characteristics around and along a street-facing property line and is comprised of these features on private property:

- street-facing ground-floor building façade(s) of a building inclusive of ground-floor mezzanines; and
- ground plane and features within front setbacks between property line and the building, and
- ground plane and features where there are no abutting buildings but are within the maximum building setback line or 20 feet from the property line, whichever is greater.

A frontage is comprised of the ground plane and features within the public right-of way that are between the property line and the curb.

**Frontage, Commercial.** A frontage that has commercial uses on the ground-floor, along with lobbies and/or vestibules, building setback areas and sidewalks.

**Frontage, Residential.** A frontage that has residential uses on the ground-floor and may also have: lobbies and/or vestibule providing access to upper-story or midblock uses, along with required setback and streetscape.

**Frontage Type.** Characteristically different frontage types, such as commercial versus residential, but also inclusive of service areas and community open space.

## G

**Ground Floor.** The floor of a building located nearest to the finished grade around the building.

## H

**Height, Building.** See TMC Section 16-52.100, but note the following amendment to height exceptions in TMC Section 16-30.050.D: In Downtown Zones only, the allowable height shall include up to half of the vertical height of sloped roofs (i.e. half of the distance between lowest eave and the highest point within principal roof volume) "

## I

**Increment, Façade.** A horizontal module comprised of a complete façade composition that is visually distinguished from an adjacent façade composition of the same building.

**Increment, Massing.** The horizontal module comprised of a contiguous building volume that has a Façade Plane as its front face and is located within 10 feet of a minimum front setback line.

## L

**Landscaped Areas.** See TMC Section 16-52.100.

**Lanes.** Lanes are intended for both vehicle traffic and pedestrian circulation on site. Lanes feature sidewalks for pedestrians, whereas alleys do not.

**Lifts, Mechanical.** An automated mechanism that lifts or lowers a parked vehicle to make space available for another parked vehicle above or below it.

**Loading Area.** See TMC Section 16-52.100. Loading areas are a type of service area.

## M

**Massing Increment.** See Increment, Massing.

**Mechanical Lifts.** See "Lifts, Mechanical."

**Multifamily Dwelling Unit.** See "Dwelling Unit," Multifamily.

## O

**Open Space, Community.** Usable on-site open space that is for the shared use of residents (semi-private) and may or may not be for public use. Community open spaces include courtyards, corner plazas, paseos, and lanes.

**Open Space, Private.** The area required for each residential dwelling unit, which may be provided in patios, decks, balconies and fenced yard areas, but excluding stairs, entrance decks, and/or landings.

**Open Space, Public.** Any open space for public use.

**Open Space, Privately-Owned Public.** Privately-Owned Public Open Spaces are intended for public use but are owned and maintained by a private entity. Public access is not restricted, except for at night as may be agreed to by the applicant and Town.

**Open Space, Semi-Private.** Shared open space limited to residents and their guests. Public access to semi-private open spaces may be restricted.

**Open Space, Usable.** Open areas used for the enjoyment of groups of people or individuals, and may include active or passive recreation.

## P

**Parking, Tandem.** A double-length parking space for two cars parked end-to-end. When both cars are parked in tandem, the car farthest from a parking aisle can only be moved if the car closest an aisle is moved.

**Parking Lifts, Mechanical.** A set of steel elevator platforms that allow two or more cars to be stacked above and below, with some models also moving and arranging cars side-to-side.

**Paseo.** A pedestrian passage flanked by landscaping that provides a walking connection internal to parcels. Paseos are not accompanied by space for motor vehicles.

**Path of Travel.** A continuous, unobstructed way of pedestrian passage.

**Pavers.** Blocks made of concrete, brick, or stone, used in aggregate in the construction of hardscapes, such as sidewalks, patios, driveways, and roads.

**Pavers, Permeable.** Designed with drainage in mind, an arrangement of pavers that are spaced slightly apart, which allows water to drain subsurface areas.

**Pedestrian-Oriented Environment.** An area with design elements that contribute to an active place for pedestrians to walk through or otherwise enjoy. Typical elements include:

- ground-floor building facades with clear windows area and building entrances;
- ground-floor activity that contribute to foot traffic;
- sidewalks or other hardscape for pedestrian movement;
- landscape and/or architectural features that provide visual interest; and
- street trees and other elements for the comfort and safety of pedestrians.

**Permitted Use.** See "Use, Permitted."

**Permeable Pavers.** See "Pavers, Permeable."

**Pier.** A vertical element that provides structural support and, if part of a building's exterior, may divide storefronts.

**Pilaster.** A vertical pier that is integrated with, and projects slightly from, a wall.

**Porch.** A covered shelter projecting in front of the entrance of a building.

**Facade Plane.** See "Building Plane, Principal."

**Principal Building Entrance.** See “Entrance, Principal Building.”

**Private Open Space.** See “Open Space, Private.”

**Privately-Owned Public Open Space.** See “Open Space, Privately-Owned Public.”

**Project.** See TMC Section 13-17.

**Projection.** A part or feature of a building that extends into a setback or other areas where limits are imposed.

**Public Open Space.** An outdoor space that is intended for public use as a park, or plaza. Public open space shall be assumed to be owned by the Town unless it is described as a Privately-Owned Public Open Space.

**Public Space.** Areas that are open to the public and include streets and/or open space areas.

**Public Street.** A street for which the right-of-way is owned by the Town.

**Public Use.** See TMC Section 16-52.100.

## **R**

**Recess.** A void between building volumes that breaks a more forward building plane. A relatively small space created by a building wall being back further than the rest.

**Recessed Entryway.** An entrance to a building that is set back from the facade of the building.

**Roadway.** The part of a street that is dedicated to motor vehicles and is separated from sidewalks and landscaping by a curb.

## **S**

**Semi-Private Open Space.** See “Open Space, Semi-Private.”

**Service Area.** An open or enclosed area principally used for refuse/recycling service, mechanical equipment, loading, and access by trucks for maintenance and building operations.

**Setback, Front.** As defined by TMC Section 16-30.030 except that front setbacks shall apply to all street frontages, including both street frontages on corner lots.

**Setback, Side.** As defined by TMC Section 16-30.030 except that side setbacks shall apply only to interior parcel lines.

**Setback, Rear.** As defined by TMC Section 16-30.030

**Stem Wall.** A very low wall below and not including a window (such as a display window(s)) and above finish grade (such as an adjacent sidewalk).

**Stepback.** A stepback requires that a building's volume that is above a certain height be set farther away from a street or property line

**Storefront.** A ground-floor frontage assembly that includes display windows and entryway associated with any allowable ground-floor commercial or live-work space, and spatially defined on either side by vertical piers.

**Storefront Bay.** The horizontal module that includes two piers or pilasters and the windows and entryway they enframe.

**Stoop.** A small porch.

## T

**Townhouse Dwelling Unit.** See "Dwelling Unit, Townhouse."

## U

**Usable Open Space.** See "Open Space, Usable."

**Use.** See TMC Section 16-52.100.

**Use, Conditional.** A use that is permitted subject to compliance with a set of conditions or requirements set forth in the zoning ordinance. Conditional uses are land uses that because of their special nature may be suitable only in certain locations, or arranged or operated in a particular manner.

**Use, Permitted.** Permitted use means a use allowed without meeting additional criteria or requirements.

## W

**Lighting, Wall-Mounted.** A light fixture/luminaire that is mounted on a wall and is not supported from above or below.